

# Greenville County, South Carolina Historic Resources Survey 

Greenville County, South Carolina

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Final Report

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## Abstract

In 2013, Brockington and Associates, Inc., conducted a historic resources survey of unincorporated Greenville County for the Greenville County Recreation District and the South Carolina Department of Archives and History (SCDAH). The objective of this survey was to identify a sample of 1,100 aboveground historic architectural resources in the survey universe that retain sufficient integrity to be included in the South Carolina Statewide Survey of Historic Properties (SSHP). These resources include buildings, structures, objects, districts, and landscapes that have architectural or historical significance. We conducted this research and fieldwork with several goals in mind. The project can provide information for public officials in the county to allow them to make informed decisions regarding the impact of development and other public activities on Greenville County's cultural resources and to set priorities for the protection and use of these resources. The historical overview contained in this report can provide an appreciation and understanding of these resources. The results of this survey can serve as an archival record of Greenville County's historic resources at the time of the survey; an inventory of every site recorded during the fieldwork was developed during the survey.

This project is part of the Statewide Survey of Historic Properties, a program coordinated by the South Carolina State Historic Preservation Office (SHPO). The purpose of this statewide program is to identify all cultural resources in the state and to highlight those that are eligible for the National Register of Historic Properties (NRHP) and for local designation. The federal government has recommended this process of documentation through the National Historic Preservation Act of 1966, as amended. The Statewide Survey of Historic Properties provides the SHPO with information that enables it to review the impact of projects with federal components on resources eligible for the NRHP. Federal projects require environmental and cultural review permits to proceed, which in turn requires review by the SHPO. In addition, some federal grants for cultural resources and certain federal tax incentives for rehabilitation of historic buildings require a determination of NRHP status. The information developed through the Greenville County Historic Resources Survey gives the SHPO a basis for making these determinations.

During the course of the historic architectural survey of unincorporated Greenville County, we identified 1,100 historic architectural resources of which 20 are recommended individually eligible for listing in the NRHP. An additional six areas are recommended for future intensive survey, as they have the potential to be NRHP-eligible districts. These include Conestee Mill Village, the Piedmont Mill Village, the communities of Slater and Fork Shoals, and the communities surrounding the Union and Renfrew Bleacheries. The remaining resources within the survey universe are recommended not eligible for listing.

Please note that many of the resources recorded during this survey are private property, and the rights of the property owners should be respected. If you desire more information on a particular historic resource, please contact the Greenville County Historic Preservation Commission (http://www.greenvillecounty.org/apps/CountyCouncilBoard/Boards.aspx) or use publicly available resources to contact the property owner directly.

The activity that is the subject of this publication has been financed in part with Federal funds from the National Park Service (NPS), US Department of the Interior, and administered by the South Carolina Department of Archives and History (SCDAH). However, the contents and opinions do not necessarily reflect the views or policies of NPS or SCDAH.

This program receives Federal financial assistance for identification and protection of historic properties. Under Title VI of the Civil Rights Act of 1964, Section 504 of the Rehabilitation Act of 1973, and the Age Discrimination Act of 1975, as amended, the US Department of the Interior prohibits discrimination on the basis of race, color, national origin, disability or age in its federally assisted programs. If you believe you have been discriminated against in any program, activity, or facility as described above, or if you desire further information please write to: Office of Equal Opportunity, National Park Service, 1849 C Street, N.W., Washington DC 20240.

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### 1.0 Introduction

### 1.1 Name of Project

The name of the project is A Survey of Historic Resources in Greenville County, South Carolina.

### 1.2 Boundaries of Project

The project survey universe included all of the unincorporated areas of Greenville County, South Carolina. Figure 1.1 presents the survey universe depicted on a NatGeo world map.

### 1.3 Number of Properties

The survey team recorded 1,100 historic architectural resources within the survey universe that were built before 1964.

### 1.4 Geographical Area

The architectural survey universe is all of the unincorporated areas of Greenville County, South Carolina, which is approximately 724.18 square miles in area.

### 1.5 Survey Staff

Brockington and Associates, Inc., employs all surveyors who worked on the Survey of Historic Resources in Greenville County, South Carolina. Cameron Sexton served as the project manager, and Patricia Stallings served as the principal investigator and peer reviewer for the project. Architectural historians Sheldon Owens, Ashley Pruitt, Jennifer Corcoran, and Ben Roberts contributed to the survey effort. The survey historians were ably assisted in the field by Scott Kitchens, Ambrose Hoilman, and Rachel Bragg. Inna Moore completed the GIS work for the project. Jana Futch, Meagan Brady, Christian LaRosa, James Page, Meg Moughan, and Michael Walsh contributed to the production of the project deliverables. The staff assigned to the survey effort meets the Secretary of the Interior's Professional Qualification Standards set forth in 36 CFR 61.

### 1.6 Beginning and End Dates of the Survey

The initial planning meetings, background research, and public meetings for the survey took place between November 2012 and January 2013. The fieldwork was completed between February and May 2013. Final survey products were submitted in October 2013.

### 1.7 Objective of the Survey

The purpose of this project was to compile an inventory of 1,100 historic resources located in unincorporated areas of Greenville County and to identify resources that are eligible for listing in the National Register of Historic Places (NRHP). Those resources not previously recorded in the South Carolina Statewide Survey of Historic Properties (SSHP) were given priority consideration for survey. Resources for consideration included buildings, structures, objects, districts, and landscapes that have architectural or historical significance. This research and fieldwork was conducted with several goals in mind. The project can provide information for public officials in the county to allow them to make informed decisions regarding the impact of development and other public activities on Greenville County's cultural resources and to set priorities for the protection and use of these resources. The historical overview contained in this report can provide an


Figure 1.1 NatGeo world map showing the survey universe (unincorporated Greenville County).
appreciation and understanding of these resources. The results of this survey can serve as an archival record of Greenville County's historic resources at the time of the survey; Appendix A contains an inventory of every site recorded during the fieldwork.

This project is part of the SSHP, a program coordinated by the South Carolina State Historic Preservation Office (SHPO). The purpose of this statewide program is to identify all cultural resources in the state and to highlight those that are eligible for the NRHP and for local designation. The federal government has recommended this process of documentation through the National Historic Preservation Act of 1966, as amended. The SSHP provides the SHPO with information that enables it to review the impact of projects with federal components on resources eligible for the NRHP. Federal projects require environmental and cultural review permits to proceed, which in turn requires review by the SHPO. In addition, some federal grants for cultural resources and certain federal tax incentives for rehabilitation of historic buildings require a determination of NRHP status. The information developed through the Survey of Historic Resources in Greenville County, South Carolina, gives the SHPO a basis for making these determinations.

### 1.8 Method of Survey

### 1.8.1 Historic Resources Survey

This survey of Greenville County followed guidelines established by the SHPO and included in the Scope of Work and the Secretary of the Interior's Standards for Identification and Evaluation (36 CFR 61.3, 6; 36 CFR $61.4[b]$ ). The principal fieldwork took place between February and May 2013. During the fieldwork stage, resource locations were recorded on USGS topographical maps; individual survey forms were completed; on-site interviews were conducted where possible; and resources were documented with photographs and sketched site maps, where applicable. Access to properties was generally limited to public rights-of-way, but on-site inspections were conducted when permitted by property owners.

The consultants documented 1,100 resources of historic, architectural, or cultural significance that are roughly 50 years old or older and located in the survey universe. In addition to buildings, other types of resources recorded included a limited number of bridges, commemorative monuments, and cemeteries. Although some different types of resources were recorded, the focus of the survey was standing architectural resources. Whenever possible, the surveyors made an effort to record the names of the individuals, families, institutions, or businesses historically associated with the buildings documented. Deed research on individual resources was not conducted. Such in-depth research should be conducted in connection with the preparation of National Register nominations or local designation reports.

The project began with background research regarding the historical development of Greenville County. This research helped to identify, assess, and interpret the aboveground historical resources within the survey universe. The background research consisted mostly of archival research and led to completion of a historical overview that identified important themes and patterns in Greenville County's historical development. The overview serves two important ends. First, it is an introduction to the county and region's history for the general reader. Second, it provides a context within which to identify and assess the significance of Greenville County's historic architectural resources; eligibility for inclusion in the NRHP and for local designation rests to a large extent on the relations between a historic architectural resource and its historical context. This historical context also allowed the field surveyors to predict and to be alert to the presence of certain types of historic resources, and to understand their significance in the field.

The field survey began following the completion and review of the historic context and an initial meeting with the Greenville Historic Preservation Commission and residents of Greenville County. This public outreach meeting allowed the survey team to answer the public's questions about the survey effort, to provide an overview of the survey criteria, and provided a basis for identifying properties and individuals knowledgeable about these properties.

Public outreach and collection of information from the public was an important part of this survey effort and took a variety of forms. At the beginning of the project, the county set up a dedicated email account for the project so that the public could email questions or information to county officials and the survey team. At the combined kickoff meeting with the Greenville Historic Preservation Commission and Greenville County residents held on January 17, 2013, Brockington and Associates, Inc. provided maps of the county and asked meeting attendees to locate the properties on the maps and fill out property information forms for resources that might meet the survey criteria. Many meeting attendees also took the property information forms home for later submittal. The project manager's contact information was provided at the meeting, any many people and historical associations chose to send lists of resources for survey consideration via phone, email, or traditional mail. We collected this information from the public between January 17, 2013 and March 29, 2013. Resources submitted by Greenville County residents were the first priority during the survey effort, and the field teams made an effort to survey each resource that met the survey criteria.

Field survey methods complied with the Survey Manual: South Carolina Statewide Survey of Historic Properties ${ }^{1}$ and National Register Bulletin 24, Guidelines for Local Surveys: A Basis for Preservation Planning. ${ }^{2}$ As this was a sampling survey of 1,100 historic resources in Greenville County rather than a comprehensive countywide survey, a reconnaissance of high probability areas was conducted to locate historical resources throughout the survey universe. The goal was to document a representative sample of historic resources in the county in terms of resource type and geographic distribution.

The principal criterion used by the South Carolina Department of Archives and History (SCDAH) to define historic architectural resources is a 50-year minimum age; however, that rule does not always allow for the recordation of all historically significance resources. This could include resources related to the Civil Rights movement, the Cold War, or the development of tourism and recreation in South Carolina. In addition, certain other classes of architectural resources may be recorded:

- Architectural resources representative of a particular style, form of craftsmanship, method of construction, or building type
- Properties associated with significant events or broad patterns in local, state, or national history
- Properties that convey evidence of the community's historical patterns of development
- Historic cemeteries and burial grounds
- Historic landscapes such as parks, gardens, and agricultural fields
- Properties that convey evidence of significant "recent past" history (i.e., civil rights movement, Cold War, etc.)
- Properties associated with the lives or activities of persons significant in local, state, or national history
- Sites where ruins, foundations, or remnants of historically significant structures are present ${ }^{3}$

[^0]For a resource to be eligible for documentation, the architectural historian must determine that it retains some degree of integrity. According to SCDAH, a resource that has integrity
retains its historic appearance and character... [and] conveys a strong feeling of the period in history during which it achieved significance. Integrity is the composite of seven qualities: location, design, setting, materials, workmanship, feeling, and association. To have a reasonable degree of integrity, a property must possess at least several of these qualities. ${ }^{4}$

Integrity is also evaluated in the context of the local region. Some regions will exhibit resources that have retained a great deal of their integrity, while other regions exhibit resources whose integrity has been significantly compromised. The threshold for what is recorded changes depending on the state of the building stock in a particular area. In the case of Greenville County, many of the historic resources we recorded had some impact to their integrity, through either insensitive additions or loss of historic fabric. Although many resources exhibited compromised architectural integrity, surveyors elected to record the resources because they are representative of the historic building stock of the county or of a particular geographic region within the county.

While in the field, the architectural historians evaluated the integrity of each identified historic architectural resource. For the purpose of this project, four levels of architectural integrity were employed. These included:

Excellent - All original construction materials and design remain intact and unchanged.
Good - The majority of original construction materials remain intact and unchanged except for roofing and other renewable elements.

Fair - A substantial number of original architectural elements have been altered, such as the installation of aluminum, asbestos, or vinyl siding, the substitution of historic doors and windows with non-historic replacements, and the construction of non-historic additions.

Poor - Has been radically altered from its original design by non-historic renovations and/or additions.
All historic architectural resources in the survey universe that retained sufficient integrity to be included in the SSHP were recorded on survey forms in digital format using the survey database in Microsoft Access. At least one photograph, preferably an oblique showing the main and side elevations, was taken of each resource. The location of each historic architectural resource was recorded on USGS topographic maps. The completed forms, including the various maps and photographs, were prepared for SCDAH for review. Photography for this project included digital images produced by methods demonstrated to meet the 75year permanence standard required by SCDAH and the National Park Service. ${ }^{5}$

[^1]Specific references were consulted for architectural style and architectural type descriptions. ${ }^{6}$ Other works were consulted for assessing specialized historical architectural resources such as gas stations, churches, cemeteries, and tourist-related resources. ${ }^{7}$

### 1.8.2 NRHP Assessment of Cultural Resources

We evaluated the historic architectural resources in the survey universe for listing on the NRHP. Federal guidelines allow four broad evaluative criteria for determining the significance of a particular resource and its eligibility for the NRHP. Any resource (building, structure, site, object, or district) may be eligible for the NRHP if it:
A. is associated with events that have made a significant contribution to the broad pattern of history;
B. is associated with the lives of persons significant in the past;
C. embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, possesses high artistic value, or represents a significant and distinguishable entity whose components may lack individual distinction; or
D. has yielded, or is likely to yield, information important to history or prehistory.

A resource may be eligible under one or more of these criteria. Criteria $\mathrm{A}, \mathrm{B}$, and C are most frequently applied to historic buildings, structures, objects, non-archaeological sites (e.g., battlefields, natural features, designed landscapes, or cemeteries), or districts. The eligibility of archaeological sites is most frequently considered with respect to Criterion D. Also, a general guide of 50 years of age is employed to define "historic" in the NRHP evaluation process. That is, all properties greater than 50 years of age may be considered. However, more recent properties may be considered if they display "exceptional" significance. ${ }^{8}$

Following National Register Bulletin: How to Apply the National Register Criteria for Evaluation, evaluation of any resource requires a twofold process. ${ }^{9}$ First, the resource must be associated with an important historic context. If this association is demonstrated, the integrity of the resource must be evaluated to ensure that it conveys the significance of its context. The applications of both of these steps are discussed in more detail below.

Determining the association of a resource with a historic context involves five steps. First, the resource must be associated with a particular facet of local, regional (state), or national history.

[^2]Secondly, one must determine the significance of the identified historical facet/context with respect to the resource under evaluation. Any particular historical facet/context becomes significant for the development of the project area only if the project area contains resources that were constructed or gained their significance during that time. For example, the antebellum-era historic context would be significant for the development of a project area only if the project area contained buildings that were either built or gained their significance during the early nineteenth century. Similarly, the use of contexts associated with the Pre-Contact Native American use of a region would require the presence of Pre-Contact archaeological sites within the survey universe.

The third step is to demonstrate the ability of a particular resource to illustrate the context. A resource should be a component of the locales and features created or used during the historical period in question. For example, early-nineteenth-century farmhouses, the ruins of African American slave settlements from the 1820s, and/or field systems associated with particular antebellum plantations in the region would illustrate various aspects of the agricultural development of the region prior to the Civil War. Conversely, contemporary churches or road networks used during this time period may not reflect the agricultural practices suggested by the other kinds of resources.

The fourth step involves determining the specific association of a resource with aspects of the significant historic context. The National Register has defined how one should consider a resource under each of the four criteria of significance. Under Criterion A, a resource must have existed at the time that a particular event or pattern of events occurred, and activities associated with the event(s) must have occurred at the site. In addition, this association must be of a significant nature, not just a casual occurrence. Under Criterion B, the resource must be associated with historically important individuals. Again, this association must relate to the period or events that convey historical significance to the individual, not just that this person was present at this locale. Under Criterion C, a resource must possess physical features or traits that reflect a style, type, period, or method of construction; display high artistic value; or represent the work of a master (an individual whose work can be distinguished from others and possesses recognizable greatness). Under Criterion D, a resource must possess sources of information that can address specific important research questions. ${ }^{10}$ These questions must generate information that is important in reconstructing or interpreting the past. ${ }^{11}$ For archaeological sites, recoverable data must be able to address specific research questions.

After a resource is specifically associated with a significant historic context, one must determine what physical features of the resource are necessary to reflect its significance. One should consider the types of resources that may be associated with the context, how these resources represent the theme, and which aspects of integrity apply to the resource in question. As in the example given above, a variety of resources may reflect the antebellum context (farmhouses, ruins of slave settlements, field systems, etc.). One must demonstrate how these resources reflect the context. The farmhouses represent the residences of the landowners who implemented the agricultural practices during the antebellum era. The slave settlements housed the workers who did the daily tasks necessary to plant, harvest, process, and market crops.

Once the above steps are completed and association with a historically significant context is demonstrated, one must consider the aspects of integrity applicable to a resource. Integrity is defined in seven aspects of a resource; one or more may be applicable depending on the nature of the resource under evaluation. These aspects are location, design, setting, materials, workmanship, feeling, and association. If a resource does not possess integrity with respect to these aspects, it cannot adequately reflect or represent its associated historically significant context. Therefore, it cannot be eligible for the NRHP. To be considered eligible under Criteria A and B , a resource must retain its essential physical characteristics that were present during the event(s) with which it is associated. Under Criterion C, a resource must retain enough of its physical characteristics to reflect the style, type, etc., or work of the artisan that it represents. Under Criterion D, a resource must be able to generate data that can address specific research questions that are important in reconstructing or interpreting the past.

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### 2.0 Historical Overview

### 2.1 Introduction

Greenville County is situated in the northern Piedmont region of upstate South Carolina, with its extreme northern portion falling within the Blue Ridge region. ${ }^{1}$ Figure 2.1 provides a map of the landforms in South Carolina with the approximate location of Greenville County. Located in the upper northwest portion of South Carolina, Greenville County is bounded to the north by the Blue Ridge Mountains. Comprising a total of about 600 square miles of the northern portions of Oconee, Pickens, and Greenville counties, the Blue Ridge Mountains contain peaks ranging from 1,400 to 3,500 feet in elevation. Below the ridgeline of the Blue Ridge, in the foothills, a number of monadnocks appear. Formed by the gradual erosion of less resistant surrounding rock and soil, these features have the appearance of small isolated mountains that rise from relatively flat land. The two most notable monadnocks in Greenville County include Glassy Mountain in the northeast section of the county, and Paris Mountain, which is more centrally located approximately five miles north of the city of Greenville. ${ }^{2}$

Greenville County is traversed by a number of rivers and small streams, the largest of which is the Saluda River, forming the county's western boundary. Other rivers include the Reedy River, which rises near Paris Mountain, and flows into the Saluda River, as well as the Enoree, South and Middle Tyger rivers, and the Pacolet River in the northeastern section of the county, which all flow into the Broad River. These streams with their many falls were all utilized in Greenville County's predominant mill industries. ${ }^{3}$

Greenville County was inhabited for several thousand years by Native Americans, including the Cherokee and Catawba Indians, before becoming the home of European settlers who began colonizing the land now comprising Greenville County in the early to mid-eighteenth century. Over the last 200 years, Greenville County has weathered the Revolutionary and Civil Wars, as well as a politically and socially turbulent Reconstruction era. By the twentieth century, Greenville emerged as a thriving textile center in the New South and has successfully navigated a changing global economy. During these transformative events, Greenville emerged as a center of economic, social, and political progress. The result is a county with a rich architectural tradition and a strong interest in preserving the story of the local people, the challenges they have overcome, and the successful communities throughout the county that are still flourishing today.

The majority of Greenville County is located in the Upper Piedmont Manufacturing Region, with the northernmost portion of the county falling within the Blue Ridge Region. The Upper Piedmont Manufacturing Region extends from Anderson and Abbeville counties to York and Lancaster counties, while the Blue Ridge Region comprises the mountainous northwestern portions of Oconee, Pickens, and Greenville counties. Figure 2.2 provides a map of South Carolina showing the different geographic regions. The Blue Ridge Region contains scattered development and low population densities; the area has several state parks and is largely used for recreational and leisure activities. The Upper Piedmont Manufacturing Region is characterized by economic development based on the textile industry and the development of the Southern Railway and the Seaboard Air Line. After World War II, the region experienced growth through the introduction

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Figure 2.1 Map of the landforms in South Carolina with the approximate location of Greenville County (adapted from Kovacik and Winberry 1989:15).


Figure 2.2 Map of the geographic regions of South Carolina showing Greenville's location in the Upper Piedmont Manufacturing Region (adapted from Kovacik and Winberry 1989:213).
of new diversified industries. The construction of new interstates, including I-85, I-26, and I-385, helped integrate the region into the larger national economy. ${ }^{4}$

### 2.2 Contact Era and the Colonial Period

By the sixteenth century, the Cherokee Nation had migrated south, pushing the Creek Indians to the west, and the Siouan-speaking Catawba to the east. The newly acquired lands came at a price, however, and battles ensued between the Cherokee and their neighbors. One such battle purportedly occurred between the Cherokee and the Catawba near present-day Rock Hill in York County. During this battle, both nations sustained approximate losses of 1,600 warriors before agreeing to a treaty. The terms of the treaty limited the Catawba to the east side of the Catawba River, the Cherokees to the west of the Broad River, with the area between to serve as a common hunting ground. The alleged battle and subsequent treaty are thought to be the reason that there were no permanent Native American settlements in a vast swath of the upstate, including present-day Greenville County. ${ }^{5}$

European explorers entered the Piedmont of South Carolina during the 1540s, with continued incursions during the late sixteenth and early seventeenth centuries. By that time, the Cherokee Nation occupied a great expanse, inhabiting the mountains and foothills of South Carolina, North Carolina, Georgia, and Tennessee. In South Carolina, the Cherokee were the largest of the Iroquoian-speaking groups who lived in the Piedmont. The Cherokee settled west of the Saluda River in towns located along rivers or streams, with portions of the surrounding forests cleared for the cultivation of corn, beans, and squash; for game, the Cherokee utilized present-day Greenville County as vast hunting grounds. Figure 2.3 provides a map showing the approximate locations of Indian nations at contact.

The establishment of English colonies on the Atlantic Coast, first in Virginia in the seventeenth century and then in Carolina in 1670, initiated contact between the English and the Cherokee. The earliest contact with the Cherokee by the English was conducted by traders, who had established trade with the Cherokee of the Lower Towns (Oconee and Pickens counties) within 15 years of the settling of Charles Town. As early as 1714, English traders were known to be living amongst the Cherokee. ${ }^{6}$ The English and Cherokee soon became major trade partners; the exchange between the English and Native Americans involved woolen cloths, glass, beads, various tools, knives, gunpowder, rum, and other manufactured goods in exchange for furs and skins. Deer hides became the most important product sent back to Britain in the first quarter of the eighteenth century. As late as 1731 , there were reportedly as many as 225,000 deer skins collected in the Piedmont and sent to Charles Town. Over time, the hunting grounds of the Piedmont became depleted of wildlife, but as late as 1755 , an estimated 25,000 skins still arrived annually in Charles Town from the Cherokee lands. ${ }^{7}$

Frequent abuses by these traders led the provincial government to abolish private trade with the Native Americans by 1719 . Realizing the necessity for a strong ally to combat the threat of the French and Creek to the southwest, the provincial government also began a series of attempts to secure the Cherokee as allies. In 1730, Sir Alexander Cuming, an English aristocrat, traveled from England to visit the Cherokee and develop better trade relationships. Upon arrival, the Cherokee promised friendship and allegiance to King George. Six chieftains then voyaged to London, where they were showered with gifts and attention. Though having no official standing, the Cherokees signed a treaty pledging allegiance to the British crown and agree to peaceful trade with the colonists. ${ }^{8}$ This interaction was the first in a long, often tenuous alliance between the English and the Cherokee.

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Figure 2.3 Map showing the location of Native Americans during contact, with the approximate location of Greenville (adapted from Kovacik and Winberry 1989:60).

European diseases greatly affected the Cherokee population in the eighteenth century; in 1738, a smallpox epidemic decimated the Cherokee Nation. Thought to have originated with slaves in Charles Town, the epidemic reduced the Cherokee population by nearly 50 percent within a year. ${ }^{9}$ Beginning in the 1740 s, the first permanent settlers began arriving in the Piedmont. These settlers principally came from Virginia and Pennsylvania, moving south through the valleys of the Appalachian Mountains. By 1759, there were several thousand inhabitants in the upcountry. ${ }^{10}$

Ties between the backcountry colonists and the Cherokee began to disintegrate during the middle 1700s due to continued encroachments by early settlers and frontiersmen, as well as continued trade abuses. In a treaty with the Cherokees, the English agreed to build forts in the Cherokee territory that would help maintain order in the Indian Territory and assist the Cherokee in defense against the nearby Creek. Fort Prince George, erected across the river from the Cherokee town of Keowee, was completed in 1755 and was the first of these forts constructed. The forts were unsuccessful in mollifying the Cherokee or in reducing abuses committed by traders and backcountry settlers; tensions escalated to war. In 1759, bands of Cherokee raided settlements and burned homesteads along the frontier. To defend themselves, settlers constructed small forts and block houses along the frontier where they could seek refuge. According to Richardson:
into these crude fortifications the sorely beset settlers crowded with their movable property, where they remained in a state of defense, til the fury of their enemies exhausted itself in the systematic destruction of their unprotected homes, provisions, and fields. ${ }^{11}$

[^6]Under the command of Colonel Montgomery, British troops joined by North Carolina and Virginia militias marched into Cherokee territory, inflicting heavy losses on the Native Americans. When Colonel Montgomery was later recalled, Colonel Grant was sent into Cherokee Territory with 2,600 men, there "destroying the homes, granaries, and growing crops of the Indians." ${ }^{12}$ The Treaty of Fort Prince George ended the war in 1761.

Perhaps the most notorious of the early settlers in Greenville County was Richard Pearis, who took residence in the Cherokee Territory between 1766 and 1768. Pearis was a native Irishman, who first settled in Virginia prior to 1750 . After serving as a Captain in command of Cherokees and Catawbas in the French and Indian War, Pearis moved to South Carolina, where he lived amongst the Cherokee. Although earlier treaties stated that the Cherokee were not allowed to sell their lands to individuals, Pearis purportedly acquired and claimed over ten square miles of land in the Cherokee Territory, including the present site of the City of Greenville. ${ }^{13}$ Pearis established a trading post and mill near the present site of Reedy River Falls in the city of Greenville. Pearis ultimately sided with the Crown during the American Revolution, using his homestead as a meeting place and camp for Loyalists and Cherokee warriors. His property was burned during the Revolution, and at the conclusion of the war, his land was confiscated.

During the 1770 s, there was a temporary peace between the settlers and the surviving Cherokee. At the outbreak of the Revolutionary War, the Cherokee remained loyal to the British; Loyalists and Cherokees roamed the backcountry fighting on behalf of the Crown. At the time of the Revolutionary War, Greenville County was inhabited by small subsistence farmers. Many of the issues being fought over had little economic bearing on the settlers, who remained largely apathetic to the conflict in the Lowcountry. A multitude of settlers in the Upcountry initially had Loyalist sentiments, but when the Cherokee began to raid their homesteads, many of the upcountry farmers felt abandoned by the British. When Charleston was captured in 1780, the backcountry became the site of several skirmishes and battles, notably Cowpens and Kings Mountain, in which the Patriots were victorious. The most direct result of the American Revolution for the Greenville District was the opening of Cherokee lands to the state of South Carolina. By the conclusion of the Revolutionary War, the Cherokee had ceded all of their lands in South Carolina with the exception of a small strip in the northwest corner of the state.

### 2.3 Creation of Greenville County

During the pioneer period of the Upcountry, from 1740 to 1800, the settlers went without representation in the Legislative Council, which was controlled by the wealthy planters of the Lowcountry. At this time the Upcountry had few roads and no schools or courts. With a lack of nearby courts, lawlessness became rampant; gangs of outlaws roamed the backcountry, squatting, poaching, and stealing private property. In response, Upcountry pioneers formed local resistance groups that ultimately united to form a system of militia units that called themselves the Regulators. The Regulators and honest citizens of the backcountry petitioned the Commons House in 1767, requesting much needed courts, courthouses, jails, and schools that could bring order and stability to the area. By April 1768, an act creating judicial districts with circuit courts and sheriffs was passed, with the Ninety Six District over much of the Upcountry.

For many years after the Treaty of DeWitt's Corner in 1777, Revolutionary War activities precluded the acquisition and settlement of Greenville County. However, on May 21, 1784, the South Carolina General Assembly opened up the ceded Cherokee land for settlement, establishing a land office in Pendleton. The land of the Ninety Six District filled up rapidly, with only circuit courts and sheriffs acting as local government. An act passed in 1785 dividing the existing Ninety Six District into six counties, including Abbeville, Edgefield, Newberry, Laurens, Union, and Spartanburg; the land comprising Greenville County was split between Spartanburg and Laurens counties. Figure 2.4 provides a map showing the judicial districts and

12 Richardson, History of Greenville County, South Carolina: Narrative and Biographical, 31.
13 Richardson, History of Greenville County, South Carolina: Narrative and Biographical, 33.
counties in 1785. The annexation of the Greenville lands proved ineffectual, however, and a year later the General Assembly formally created Greenville County. Ratified on March 22, 1786, the act states:

Whereas, the inhabitants of the new ceded lands on the north side of Saluda River, below the Indian line have experienced many inconveniences, by being annexed to some of the counties heretofore established;
Be it ordained by the Honorable, the Senate, and the House of Representatives, now met and sitting General Assembly, and by the authority of the same, That a county shall be established in the new ceded lands, by the name of Greenville, and shall be bounded by Saluda River and the south fork thereof, the old Indian boundary, the North Carolina line, and shall be entitled to county courts to be held on the third Monday in February, May, August, and November; which courts shall hold, exercise, and enjoy the several powers and jurisdictions which are by law vested in the said county courts heretofore established. ${ }^{14}$

Once open for settlement, Greenville County and adjoining backcountry territories filled up rapidly. Owing money to soldiers for their service during the Revolutionary War, South Carolina offered lands in the newly acquired Greenville County for 10 dollars per hundred acres, payable in debt due from the state. According to Richardson, "within two years, practically all desirable lands within present-day Greenville County had been taken up, largely by Revolutionary heroes." ${ }^{15}$ Amongst these Revolutionary heroes was Colonel Thomas Brandon. As an active supporter of the Patriot cause, Brandon was given vast holdings in Greenville County, which included the site of the present city of Greenville; in 1788 , he sold these lands to Lemuel J. Alston.

Lacking an urban center to focus economic and political life, early development was scattered throughout Greenville County. Farms and plantations throughout the county were connected by old Native American footpaths and animal trails. Many of the old footpaths crossed Greenville County from east to west, with one running roughly along the route of present-day Highway 11, and another further south below the modern route of Interstate 85 . Routes traversing the county from north to south were constructed in 1785 , connecting Middle Saluda settlements with the Pearis Wagon road, while another connected settlements farther south to the Pearis Wagon Road. Denser development began to appear near crossroads and riverways for the sale and purchase of goods. Operating one of the earliest stores, Richard Harrison owned a mercantile center near the Great Cane Brake on the Reedy River. Serving in the militia during the Revolution, Harrison eventually purchased land in Greenville County and opened his store, where he shipped tobacco and hemp to Augusta via the Savannah River. ${ }^{16}$ At the intersection of the White Horse Road and Island Ford Road, Alexander McBeth operated another store, which was known to have been flourishing as early as 1794. Constructed on leased land west of the Reedy River, A. McBeth \& Co. was housed in a frame structure 30 feet by 18 feet and roofed with shingles. A number of planters and summer residents resided near McBeth's store. ${ }^{17}$

Groups of early settlers soon began developing churches. In 1785, a Methodist society was formed in Greenville County by a group of families who owned land just north of the Indian boundary as well as several families already settled in Laurens County. On land near the Reedy River, these settlers constructed a "pole chapel" where, in addition to religious services, they began educating children from the surrounding community. ${ }^{18}$ From 1785 to 1786, several families of Scots-Irish descent who had founded Nazareth Presbyterian Church in

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Figure 2.4 Map of judicial districts and counties in 1785, showing the approximate location of Greenville County (adapted from Kovacik and Winberry 1989:9).

Spartanburg County moved just north of the Laurens County line into present-day Greenville County. In 1786, the community gained admission to the Presbytery as Fairview Presbyterian Church.

Although the 1785 act stipulated that each county should build a courthouse and other public buildings, Greenville County did not get a permanent courthouse and jail until 1797. Prior to that time, a myriad of changes in circuit court districts and judicial organization led to an early location at the plantation of John Ford, one of nine members of the Greenville County Court. Eventually, public outcry at the lack of a centralized courthouse led to a series of commissions to promote a new central location. Ultimately, a 1793 act empowered a local commission, composed of Henry M. Wood, Larken Tarrant, John Thomas, Jr. and James Harrison Barrett, to select a county seat where court could immediately be held while a courthouse was constructed. The committee selected land near the site of Richard Pearis' old mill along the Reedy River. The land was owned, and subsequently platted, by Lemuel J. Alston, who named the town Pleasantburg.

Located east of the Reedy River, Pleasantburg contained a wide main axis, running very near presentday Greenville's Main Street. Three streets crossed this main thoroughfare at right angles, nearly at the locations of Broad, Court, and McBee streets. A courthouse was located within a central square, and a jail (i.e., gaol) was located along one of the major cross streets; the courthouse was a one-story log structure; the two-story jail was also of log construction, with chimneys at each end. ${ }^{19}$ The town consisted of 52 lots, 20 of which faced the principal street. On a hill overlooking the Reedy River, roughly 600 feet from the main road, Alston built a large two-story home he named "Prospect Hill." The home was constructed of logs covered with clapboard resting on a raised brick basement. A path from the home ventured all the way to the main road, then called Pearis' Wagon Road. Figure 2.5 shows the plat of Pleasantburg as laid out in 1797.

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Figure 2.5 The early plat of Pleasantburg, as laid out by Lemuel J. Alton in 1797 (South Carolina Collection, Greenville County Library).

While Alston gave the new town the name Pleasantburg, it did not take hold. The area was still commonly referred to as Greenville, and the name Pleasantburg quickly dropped out of use. There is a general lack of agreement as to the reason for the naming of Greenville. In his Statistics of South Carolina, Robert Mills asserts that the name of the district "was derived from the physical face of the country, presenting a remarkably verdant appearance." ${ }^{" 20}$ Contrary to this theory, many have insisted it was named in honor of Revolutionary War hero General Nathanael Greene. Albeit less likely, others have suggested that the town's name was the result of an early settler named Isaac Green, who owned a mill on the Reedy River in the vicinity of the town in 1785. In his History of Greenville County, South Carolina, James M. Richardson attempts to discredit the Isaac Green theory, pointing out that Green did not obtain his land grant until the fall of 1785, while the name Greenville appeared in the act creating the county in March 1786. ${ }^{21}$

### 2.4 Antebellum Period and the Civil War

The sale of lots in the new village of Pleasantburg was initially slow, as much of Greenville County was agricultural. Greenville County's population rapidly increased, while property in the village remained unoccupied. Though the first property in the village of Greenville was sold in 1797, only half of the original 50 lots had been sold a decade later. Viewing his endeavors in Greenville unsuccessful, Lemuel Alston sold his holdings to Vardy McBee in 1815. These holdings consisted of 11,027 acres in and around the village of Greenville. ${ }^{22}$ During the years that followed, agriculture and small manufacturing became the dominant

[^9]economic force in Greenville County, and through the efforts of prominent leaders, the village of Greenville emerged as the regional economic and cultural center.

At the beginning of the antebellum period, the Greenville District engaged in diversified agriculture. Wheat and corn were initially dominant, though farmers in the area also grew small grains and tobacco. According to the nineteenth-century research of Robert Mills, Greenville County was chiefly agricultural, with cotton dominating its agricultural pursuits; however, Greenville's Benjamin Perry later commented that only 275 bags of cotton were produced in the entire Greenville District in 1840. ${ }^{23}$ The relative lack of slaves and slaveholding planters also differentiated Greenville from its cotton-producing neighbors in the Piedmont or the vast plantations in the Lowcountry. At the outset of the antebellum period, just 10 percent of householders owned slaves. As the antebellum period progressed; however, the number of slaveholders and the number of slaves each owner held increased. In 1790, only two farmers in the Greenville District held 20 or more slaves; by 1810, the number of farmers holding that many slaves had increased to seventeen. ${ }^{24}$ In his Statistics of South Carolina, published in 1826, Mills states that according to the last census, Greenville County had a population of 14,530 people, with a considerable increase having occurred since $1820 .{ }^{25} \mathrm{He}$ also states the antebellum village of Greenville consisted of 70 houses, a handsome brick courthouse, a jail, two churches (a Baptist meeting house and an Episcopal church), three public houses, and two buildings housing the male and female academy. ${ }^{26}$ By 1850 , the population was as high as 20,156. ${ }^{27}$

Small manufacturing flourished in Greenville, with much of the manufacturing dependent upon agriculture. To process the crops grown in the district, wheat and corn mills were built at the falls of the district's rivers and streams. Figure 2.6 presents Mills' 1825 map of the Greenville District, illustrating the abundance of mills on the district's rivers and streams. Batesville was among one of the earliest of cotton mills in the Greenville District. William Bates came to Greenville from Rhode Island with knowledge of the cotton mill industry. He established experience and relationships working at a cotton factory in Spartanburg County before opening Batesville in Greenville County around 1830. By 1840, Batesville had expanded and the county was producing $\$ 72,000$ in cotton goods, largely from his factory. ${ }^{28}$

Greenville was also a center of iron manufacturing, producing farm implements and other building materials. Benson's Iron Works was located on the Enoree River, while another foundry was in operation on the Reedy River, and a third was located on the north fork of the Saluda River. A musket factory, operated by Adam Carruth, began operation around 1816, and the Greenville Carriage Factory, constructed by Ebenezer Gower and Thomas Cox, began thriving in the antebellum period. The emergence of these industries led to the foundation of large mercantile stores in the Greenville District. Notably, Jeremiah Cleveland began with a small store in Pleasantburg, and would later develop his business into a large mercantile enterprise. ${ }^{29}$

Dramatic improvements to transportation systems in the antebellum period provided a boon to the burgeoning economy. In 1797, a wagon road connecting Greenville to the mountains of western North Carolina and eastern Tennessee was constructed. The road began on the north fork of the Saluda River and traveled north through the mountains to the Buncombe County Courthouse in North Carolina before heading west to Knoxville, Tennessee. The road was heavily utilized by animal drovers, who led horses, mules, cattle, sheep, and hogs from the mountains into Greenville County before being transported further south. Taverns and stores developed along the route, as drovers frequently required lodgings and campsites as well as provisions and feed for their livestock. Requiring adequate land for the animals to rest, many travelers stopped just north of the city of Greenville in a town that came to be known as Travelers Rest. By 1818, a state road was developed that

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Figure 2.6 Mills' 1825 map of the Greenville District, illustrating the abundance of mills on the district's rivers and streams (South Carolina Collection, Greenville County Library).


Figure 2.7 Map of railroads in South Carolina, circa 1860, showing the Greenville and Columbia Line (adapted from Kovacik and Winberry 1989:96).
connected Charleston with western North Carolina and Tennessee; the state road traveled east of the town of Greenville, but the old wagon road still provided access through the mountains to the town. The most notable transportation improvement during the antebellum period was the coming of the railroad in 1853; the rail line connected Greenville to Columbia, whereupon goods could be taken to other parts of the state. Figure 2.7 provides a map of railroads in South Carolina, circa 1860, showing the Greenville and Columbia Line.

Shortly after opening for permanent settlement in 1784, Greenville's mild climate marked the town as a desirable place to summer. Greenville became a popular summer and resort town for residents of Charleston and the Lowcountry, many of whom came to the Greenville area to escape the heat and health hazards of the coastal plantations. These visitors initially purchased their own plantations, or acted as "paying guests" of their friends, until inns, hotels, and boarding houses began to emerge to serve this purpose. ${ }^{30}$ Perhaps the earliest of these establishments opened in 1815, when Edmund Waddell rented the Alston residence from Vardry McBee; Waddell opened the residence as a hotel and summer resort until McBee moved to Greenville in 1836. Several other hotels and boarding houses soon followed, and in 1824, Colonel William Toney purchased two lots in the village on which he constructed the Mansion House. The Mansion House was a three-story, L-shaped brick building located next to the courthouse. Figure 2.8 is a photograph of the Mansion House circa 1895. Widely noted as a premiere hotel during the antebellum period, the Mansion House stood for a century. It was demolished in 1924 to make way for the development of the more modern Poinsett Hotel. Standing 12 stories in height, the Poinsett Hotel remains on Main Street as an enduring record of Greenville's early-twentieth-century prosperity. Other resort communities existed throughout the county, including the popular Chick Springs area. Named for Dr. Burrell Chick, the springs had been rumored to heal a number of ailments, and a resort was soon opened at the site. Figure 2.9 shows the Chick Springs Hotel, circa 1910.

30 Richardson, History of Greenville County, South Carolina: Narrative and Biographical, 60.


Figure 2.8 Photograph of the Mansion House circa 1895 (Clemson University Libraries, http://contentdm.clemson.edu/u?/spg,317 ).


Figure 2.9 Photograph showing the Chick Springs Hotel high on the hill with Chick Springs Lake in the foreground, circa 1910 (Clemson University Libraries, http://contentdm.clemson.edu/u?/spg,316).

With the town's growth as a county seat and the relative wealth of its citizens, improvements to public buildings, churches, and schools began by the 1820s. The eventual increase in slave ownership and accumulated wealth in the county by the 1850s brought the development of fine homes and a number of large plantations throughout the county. The newfound affluence produced not only grand houses, but also respectable schools, churches, and fashionable public buildings. The first of these improvements came when a new Greenville District Courthouse was constructed in 1821; the plans of the structure were credited to Robert Mills, an American architect and a Charleston native. The Palladian-style courthouse was two stories in height, with a rectangular plan and a gabled roof. The first story arcade was surmounted by a second story columned portico and a central tower. A new jail was also constructed at this time according to another Mills prototype; the new jail was also two stories in height with masonry construction. The 1821 Mills courthouse was later used as a Records Building, when a new, larger courthouse was constructed in 1855. After standing 103 years, the Records Building was ultimately demolished in 1924. The courthouse constructed in 1855 was brick with a stucco finish. Built in the Gothic style, it featured pointed arch windows and a prominent central tower. The 1855 courthouse was demolished in 1915. Figure 2.10 shows the 1855 courthouse prior to demolition in 1915.

There was initially little formalized education in Greenville; private tutors often taught in the homes of the wealthy, and sons were frequently sent to northern colleges. ${ }^{31}$ In 1818, local leaders began collecting money to build two academies, one for males and one for females. One year later, the money was secured, and the Greenville Male and Female Academies were established. In 1821, construction of the buildings was completed, and by the time of Robert Mills' visit, the academies were "not only well supported but have very able teachers." At that time, several private schools had been established throughout the Greenville District, and free schools provided education to 166 of the area's poor children. ${ }^{32}$ The Academies were constructed of brick and located on land donated by Vardry McBee, on the present site of the Heritage Green near the intersection of College and Academy streets. The Male Academy prepared its students to enroll in the junior class of a college upon completion, while the Female Academy was a finishing school for young women. Both academies remained in operation until the early 1850s. The Male Academy closed just after the arrival of Furman University in 1851, while the Female Academy closed in 1854, after the buildings and land were transferred to the State Baptist Convention for the establishment of a female college.

The Greenville Baptist Female College opened in 1855. In 1851, Furman University relocated to Greenville from Winnsboro, South Carolina. Classes began in McBee Hall at the corner of present-day Main Street and McBee Avenue, but by 1852, the university had begun construction of a larger classroom building west of the Reedy River near the falls. Called "Old Main," the building was constructed by Jones and Lee of Charleston in the Italian Renaissance style. It featured an iconic bell tower that was later recreated on the new campus after the university relocated to Travelers Rest in 1953. The original structure was demolished in 1960. Figure 2.11 shows Furman University's "Old Main" prior to demolition. The Baptist Theological Seminary was the third Baptist institution of higher education to open in Greenville during the antebellum period; the seminary opened in 1859, with classes held in the old Baptist church.

Though several churches were established throughout Greenville County in the eighteenth century, the first four churches to be established in the town of Greenville were all on land donated by Vardry McBee beginning in 1825. St. James Mission was the first church established in the town; in 1825, McBee ceded four acres for the construction of the brick Episcopal church. St. James Mission later became Christ Church; a new church building was constructed in 1854; it was a Gothic brick structure featuring a brick tower 130 feet high. Figure 2.12 presents a postcard view of Christ Church. In 1826, the Greenville Baptist Church (later First Baptist) was organized. McBee ceded another lot on Avenue Street for the construction of a brick meeting house for the congregation. By 1858, the Baptist church had also constructed a new building. Located on West McBee Avenue, the Greek Revival structure featured an imposing two story portico supported by Ionic

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Figure 2.10 Photograph of the Gothic-styled 1855 courthouse prior to demolition in 1915 (Clemson University Libraries, http://contentdm.clemson.edu/u?/spg,56).


Figure 2.11 Photograph of Furman University's "Old Main" prior to demolition in 1960 (Clemson University Libraries, Historic Sites and People of Greenville County, http://repository.clemson.edu/u?/spg,279).


Figure 2.12 Postcard view of Christ Church (Clemson University Libraries, South Carolina in Postcards, http://contentdm.clemson.edu/u?/scp,64).


Figure 2.13 Postcard view of First Baptist Church circa 1908 (Clemson University Libraries, South Carolina in Postcards, http://contentdm.clemson.edu/u?/scp,65).
columns and topped with a dramatic steeple. Figure 2.13 presents a postcard view of the First Baptist Church circa 1908. In 1834, the Buncombe Street Methodist Church was organized. By 1848, First Presbyterian Church was constructed on a lot at the corner of Washington and Richardson streets. The brick neoclassical building featured a portico with Doric columns and a large steeple. ${ }^{33}$

The passage of unpopular tariff laws in the 1820s planted the seeds of secession in South Carolina. By the 1830s, the issue of states' rights had been championed by John C. Calhoun of the Pendleton District. Espousing the ability of state government to nullify any or all portions of federal law with which they did not agree, the Nullification Theory found favor in the Lowcountry, though it was generally opposed in the Piedmont. At this time, Benjamin F. Perry emerged in Greenville as a leader in the fight against Nullification and the secessionists in the South Carolina General Assembly. While the states' rights faction drew an increasing majority, Greenville County continually sent delegates to the General Assembly that were strongly Unionist and opposed any discussion of secession.

It was during this time of political turbulence that newspapers emerged in Greenville County as significant voices in the community. The Greenville Republican was the first local newspaper, established in 1826. Under Benjamin Perry's editorship, The Greenville Mountaineer also became a politically influential publication in the antebellum period. A rival paper, the Southern Sentinel, emerged in 1832. By the late 1840s, the Mountaineer had a secessionist editor, forcing Benjamin Perry to establish a new Unionist paper, The Southern Patriot, which later merged with his former paper in 1855 to form the Patriot and Mountaineer.

[^12]Around this time, another paper called the Southern Enterprise emerged with a decidedly pro-slavery and secessionist bent. ${ }^{34}$

By 1850, secessionist fervor was increasing, though once again, Greenville's members in the House of Representatives stood solidly against secession. At this time, Furman University moved to Greenville; President James C. Furman was strongly secessionist and quickly began to win over the people of Greenville to the secessionist cause. With the election of Republican Abraham Lincoln in to the presidency in 1860, even Benjamin Perry could not stem the tide of secession. Though he stood firmly against the passage of the Ordinance of Secession, Perry fought on the side of his state during the Civil War.

Ultimately, Greenville County furnished more than 2,000 soldiers to the Confederate armies, though the total voting population in 1860 was less than 2,200. Not all portions of Greenville County were so ardently committed to the Confederate cause. In the mountainous areas of upper Greenville County, particularly in the area called the Dark Corner, deserters and evaders of the war frequently hid from their Confederate trackers. Many of these deserters banded together, often building refuges and fortified camps, and then preyed upon local property owners. In 1863, Major John Ashmore requested the Confederate army supply a cannon in order to destroy one of these fortified encampments in the Dark Corner. ${ }^{35}$

In addition to supplying troops, Greenville County also became a manufacturing center for Confederate supplies. Gunpowder, rifles, carriages, iron, cloth, and other war materials were produced in the city. The Confederate government maintained an arsenal in Greenville, where rifles for the army were manufactured. The Batesville Cotton Factory and three other small textile plants located in the county manufactured goods exclusively for the Confederate Army, and the Gower, Cox, \& Gower carriage factory furnished its entire output of wagons to the Confederate Army. ${ }^{36}$

No military action took place in the Greenville area during the Civil War, though there was a brief period of occupation by Union troops. After Lee surrendered, Jefferson Davis began fleeing southward. Union General George Stoneman instructed his cavalry to pursue Davis; the cavalry rode into Greenville via the Buncombe Road. Recognizing the futility of resistance, the residents of Greenville obeyed orders to give up their weapons and deliver provisions to the Union troops. Greenville's compliance allowed the town to escape the destruction many other Southern towns endured; however, warehouses in the town were looted and many valuables were destroyed. ${ }^{37}$

### 2.5 The Reconstruction Era

The Civil War had a devastating impact in the Greenville District, as it did in much of the state of South Carolina. Though no military action took place in the Greenville area during the Civil War, the cessation of the war still brought great changes to Greenville County economically, politically, and socially.

Since planters owning vast numbers of slaves had never dominated the Greenville economy, emancipation had a decidedly less severe impact in Greenville than it did elsewhere in the state. Nonetheless, the loss of slave labor as well as the scores of young men killed in battle weakened the work force. Combined with the loss of capital and stock during the war, a general state of bankruptcy and debt existed within Greenville County at the conclusion of the war. In addition to the economic strain imposed by the Civil War, a severe drought in 1866 led to a poor harvest. The price of corn rose to two dollars per bushel and bacon to forty cents per pound. In Greenville, the chief of the Freedmen's Bureau noted that a majority of planters in Grenville owed the full extent of their property. The year after the war, Greenville's economy was so depressed that residents began referring to the community as "Slow-Hole."38

[^13]The population waned as a result of the terrible economic conditions. By the late 1860 s, freedmen were leaving Greenville for other states; white citizens left as well, particularly planters who once held considerable wealth. Others remained, though their financial assets faded. In Greenville, Peter Cauble, a successful entrepreneur prior to the Civil War, had an estimated $\$ 100,000$ in assets in 1860 . By the conclusion of the war in 1865, his assets were valued at $\$ 3,000-\$ 4,000$, and by 1870 , he was insolvent. Census figures for 1870 indicated that from 1860 to 1870 , the population of Greenville grew only 1.7 percent, from 21,892 to 22,262. During this time, the white population grew only marginally, while the African American population declined 1.7 percent. ${ }^{39}$

Though drawing more ire from South Carolinians than perhaps any other program during the Reconstruction period, the Congressionally-established Freedmen's Bureau provided valuable aid and relief efforts to the economically downtrodden in the years following the Civil War, regardless of race. In Greenville, nearly half of all aid recipients were white and 63 percent of aid recipients were children. ${ }^{40}$ During the Reconstruction period, the Freemen's Bureau also oversaw the negotiations of labor contracts between freedmen and white landowners. These contracts typically involved a system of tenancy, where the workers agreed to furnish their labor for a percentage of the crop, while the landowners furnished necessary housing, seed, tools, and farm animals in exchange for the majority of the crop. Though the specific terms of these contracts often changed, the general system of sharecropping remained the same.

The Reconstruction period was politically turbulent, with Greenville County and many of its leading politicians standing at the forefront of the period's political activity. After the Civil War, South Carolina was divided into military subdistricts and martial law was established. Desiring the restoration of civil government, white leaders in South Carolina held a series of meetings throughout the state petitioning President Andrew Johnson for action. President Johnson quickly issued a proclamation appointing Greenville's Benjamin F. Perry as provisional governor. Upon receiving notice of the proclamation, Perry immediately began the process of reorganizing state government and preparing the state for readmission to the Union. Perry called an election for delegates to a state constitutional convention. Lasting just six months, Perry's administration oversaw the adoption of a new state constitution, the election of a new General Assembly, the appointment civil officers throughout the state, and the election of a new governor. The delegates to the constitutional convention repealed the Ordinance of Secession and formally recognized the abolition of slavery, though little else changed. In October of 1865, white South Carolinians elected a new governor and members of the state legislature, with James L. Orr defeating former Confederate General Wade Hampton III.

By March 1867, Radical Republicans seized control of Congress. Unhappy with what they perceived to be extreme leniency on behalf of President Johnson, Congress refused to seat the Southern Congressional delegates. The Republican Congress passed Reconstruction Acts, which suspended state governments in the south and divided these states into military districts, overseen by the army. Freedmen were granted the right to vote and whites who held office prior to the Civil War were disenfranchised. Thus, the constitutional convention held in 1868 in Charleston was dominated by the South Carolina Union Republicans Party, which consisted of Northern whites and African Americans, native-born freedmen, and Southern whites derided as scalawags. ${ }^{41}$ The new constitution of 1868 adopted universal manhood suffrage and removed property qualifications for office-holders; it also created a single universal public education system and desegregated militia units. In 1869, the South Carolina Land Commission was created, and immediately became a source of controversy. As freedmen desired to own their own land, the commission was established to purchase large tracts of land and resell them as small tracts. By 1877, roughly two thousand small farmers had purchased commission lands, most of them African American. ${ }^{42}$

[^14]Dramatic changes led white Democrats to begin organizing throughout the state in an effort to combat Republican control. A stagnant economy, exorbitant taxation on landowners, wasteful spending, and corruption at all levels within the Republican party led to general unrest amongst South Carolinians and provided an angle for white Democrats to regain power. In June 1868, Democrats carried ten of the eighteen precincts within Greenville County, though successes for Democrats throughout the remainder of the state were negligible. Two years later, white Democrats directed a statewide effort to combine Democrats and a group of Reform Republicans under the Union Reform Party. Though largely unsuccessful throughout the rest of the state, white Democrats in Greenville won all four House seats while running as Union Reform candidates. Two years later, Greenville Democrats won the state Senate seat as well. ${ }^{43}$

In 1876, the white Democrats in Greenville joined forces with the state Democratic leadership to end Republican control in state government. After months of committee meetings, the state Democratic Party nominated General Wade Hampton III for governor. Running against Republican Daniel Chamberlain, the resulting election was hotly contested. Accusations of election fraud immediately arose, with claims that white landowners forced tenants to vote Democratic or suffer economic consequences. In Greenville, similar claims of fraud were reported. In addition to the aforementioned claims, a source in Greenville suggested that white men crowded polling locations, thereby preventing Republicans from casting their vote. ${ }^{44}$ Widespread claims of fraud throughout the state ultimately delayed the announcement of Governor, with both candidates claiming the office. It was not until the eventual declaration of Rutherford Hayes as President that the South Carolina gubernatorial race was settled. After much political bargaining, Hayes issued an order for the removal of federal troops from South Carolina, and Chamberlain vacated the State House. General Wade Hampton III assumed the governorship of South Carolina, and the era of Reconstruction finally came to a close.

Despite the political turbulence, Greenville appeared to pass through the period of Reconstruction without the widespread violence and social upheaval of its neighboring counties. In September 1866, a military commander in Greenville reported that there was perhaps better feeling between the whites and African Americans of Greenville than in any other part of the state. ${ }^{45}$ It was perhaps these "better feelings" that led to a relative lack of violence and social upheaval during the Reconstruction period in Greenville. The Ku Klux Klan spread throughout the upstate in 1868, though it did not appear to be very active in Greenville. There were only brief mentions of the Ku Klux Klan in the Southern Enterprise, and a report by the New York Herald suggesting that there were frequent whippings of African Americans in the Greenville area resulted in a quick rebuttal by the Southern Enterprise. ${ }^{46}$ In fact, there were no incidents reported from Greenville County at the Joint Congressional Committee in 1871, and when President Grant imposed strict sanctions against nine South Carolina counties later that year because of Klan activity, Greenville County was not included. Amongst the nine counties that were included were neighboring Laurens County to the south and Spartanburg County to the east.

A more enduring social legacy of the Reconstruction period in Greenville was the emergence and growth of African American schools and churches. At a school established in the Goodlett House on Main Street in the summer of 1866, Charles T. Hopkins educated between sixty and seventy pupils. When the Goodlett House was later reclaimed by its previous owner, Hopkins, a former slave from the Lowcountry, raised the necessary funds to secure an alternate location on Lauren Street. ${ }^{47}$ Also notable in Greenville was the rise of African American Methodism, spearheaded by James R. Rosemond, a former slave of Vardry McBee. Rosemond began preaching while still a slave and founded a church after gaining his freedom through emancipation. The church was first located at Charles Hopkins' school in the Goodlett House, but Rosemond later secured a new building to house the church he called Silver Hill. In 1902, the church name was changed to

43 Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 168.
44 Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 170.
45 Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 157.
46 Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 168.
47 Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 159.

John Wesley Church. Rosemond went on to establish other churches throughout the county, including St. Matthew near Chick Springs, St. Mark near Travelers Rest, and Wesley Chapel in Golden Grove. ${ }^{48}$

### 2.6 The Emergence of Industry and the Turn of the Century

Following the Civil War, most poor whites and freedmen of Greenville County worked as small farmers and tenants on other's farms. Though the textile industry began growing at the turn of the century, the majority of residents in Greenville County were farmers. Cotton was the major cash crop, and agriculture was still the basis of the economy in the area. Greenville County produced 17,064 bales of cotton in 1879 . By 1890 it produced 28,485, and an average of 32,505 bales between 1901 and 1906. By 1915, only Orangeburg and Anderson counties surpassed Greenville in cotton production. ${ }^{49}$ However, the emergence of industrial development in the area began to dramatically alter the economic and social landscape within the city of Greenville and the surrounding county. In the final decades of the nineteenth century, Greenville County experienced the same forces of industrialization as the rest of the South Carolina Piedmont. Cheap labor and low tax rates brought New England cotton mills to the South, encouraging unparalleled economic growth in the region. Inclusion in a wider system of railroads made Greenville the center of the cotton mill industry in the Piedmont.

Prior to 1895, several small cotton mills emerged in Greenville County. In addition to Batesville, there was a small mill at Fork Shoals, one at Pelham, one on the Reedy River (later Conestee). Lanneau Manufacturing Company was established just below the city of Greenville, and the Camperdown Cotton Mill and Huguenot Mills (later Nuckasee) were within the city of Greenville. Figure 2.14 presents a postcard view of the Reedy River Falls and mills at the turn of the century. In 1876, roughly 46 years after William Bates began operating his cotton mill in Greenville County, Henry P. Hammett opened the Piedmont Manufacturing Company. The mill opened with 5,000 spindles and 112 looms in operation. By 1895, the Piedmont Manufacturing Company had a total of four mills, with 58,644 spindles and 1,994 looms in operation. Piedmont Manufacturing Company brought a significant increase in the value of manufactured products in the county, which rose from a total of $\$ 351,875$ in 1870 to $\$ 1,413,556$ by $1890 .{ }^{50}$ Prior to 1895 , the mills constructed in Greenville County were relatively small. Hammett and the Piedmont Manufacturing Company, following the model of larger New England mills, represented a turning point for Greenville's mill industry. In the years surrounding the turn of the century, Greenville proved an ideal location for new business, attracting larger mills such as the F. W. Poe Manufacturing Company, Mills Manufacturing Company, Victor Manufacturing Company (located in Greer), the Brandon Mill, the Woodside Mill, the Monaghan Mill, and the Union Finishing and Bleaching Company. Figures 2.15 and 2.16 show two of Greenville's mills at the turn of the century.

The new system of textile mills depended heavily on access to transportation, specifically railroads. While the rail line from Columbia to Greenville was already in place by 1853, the appearance of other railroad lines encouraged the growth of Greenville's emerging industry. In 1873, the Atlanta and Charlotte Air Line Railroad was completed. Running through the city and county, the railroad connected Greenville with other major hubs throughout the nation. The older Columbia and Greenville Railroad was acquired and leased eight years later by the Richmond and Danville Railroad; these would later merge with the Southern Railway, under the direction of J. P. Morgan. By 1905, the Southern Railway completed a new depot at the end of West Washington Street. ${ }^{51}$ Figure 2.17 shows a 1902 Sanborn map of downtown Greenville with the system of railroads and numerous cotton mills crossing at the Reedy River Falls near the city's center. The expansion of the railroad system in Greenville County spurred the development of a number of new towns in the county. Greer, Simpsonville, Mauldin, and Fountain Inn all developed into organized towns with laid-out lots and a railroad station at the turn of the century.

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Figure 2.14. A postcard view of the Reedy River Falls, with an older grist mill on the left and Camperdown Mill on the right (Clemson University Libraries, South Carolina in Postcards, http://contentdm.clemson.edu/u?/scp,42).


Figure 2.15. An 1895 photograph of the Huguenot Cotton Mill (Clemson University Libraries, Historic Sites and People of Greenville County, http://contentdm.clemson.edu/u?/spg,208).


Figure 2.16. A photograph of Woodside Mills, circa 1902 (Clemson University Libraries, Carolina Textile Mills Collection, http://contentdm.clemson.edu/u?/ctm,251).

The new industrial growth and railroad expansion dramatically affected the development of the county. Mill villages composed of small, tightly-packed mill housing surrounded the large mill buildings. Rural county residents as well as farmers from North Carolina and Tennessee soon found cotton farming unprofitable and moved to live and work in the mill villages. The villages typically had mill stores, where employees could purchase provisions using scrip earned from their labor. Most mills also built and operated schools and churches, frequently independently of the city and county systems. Many mill owners had a reputation for being paternalistic, outlawing alcohol and other activities within the community and creating recreation facilities and sports leagues to entertain the workers on weekends and holidays. Farm laborers were the first to abandon the field, though landowners and tenant families ultimately migrated to the mill villages as well. All the residents who resided in Greenville County's mill villages were white, particularly after the passage of an act in 1915 forbidding textile mills from employing workers of different races in the same room. ${ }^{52}$ Figure 2.18 presents a photograph of a mill village baseball team in Greenville County.

The new influx of rural families into Greenville brought about a need for public schools. In 1885, a special act of the state legislature created the City School District of Greenville. Central School, at the head of McBee Avenue, and Oaklawn, located on Pendleton Street in the West End, were constructed for the education of white citizens. The Allen School continued to educate the African American population. During this period,

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Figure 2.17 A portion of a 1902 Sanborn map of downtown Greenville with the system of railroads and numerous cotton mills crossing at the Reedy River Falls near the city's center.


Figure 2.18 Photograph of the Renfrew Finishing Plant's baseball team, 1932-1933 (Clemson University Libraries, Carolina Textile Mills Collection, http://contentdm.clemson.edu/u?/ctm,281).

Chicora College, a Presbyterian college for women, opened in Greenville. It was located on the western side of the Reedy River, utilizing the colonial home of Alexander McBee. The college did not flourish, however, and relocated to Columbia, South Carolina by 1915. Having also fallen on hard times in the aftermath of the Civil War, Furman University began to improve at the turn of the century. After suffering a decline in enrollment and financial trouble, the university secured a new president in 1881, and its situation improved. ${ }^{53}$

Unincorporated regions of the county also pushed for formal education. In 1891, at the fourth annual meeting of the North Greenville Baptist Association, John Ballenger of the Tigerville community suggested that a high school be established in northern Greenville County. Benjamin Franklin Neves of Mush Creek donated $\$ 500$ and a 10 -acre tract of land for the establishment of the new school. The North Greenville High School officially opened on January 16, 1893, with 80 students in attendance. In 1934, the charter was amended to create a junior college alongside the existing high school. By 1959, the North Greenville Junior College was accredited as a two-year liberal arts college, and high school courses were dropped. By 1994, North Greenville Junior college had developed into a four-year university offering baccalaureate degrees. ${ }^{54}$

The turn of the century brought change to race relations in the county as well. When reconstruction ended, African Americans in Greenville lived throughout the city and county; they also owned a variety of businesses that served white and African American clientele. Though many schools and churches were segregated, it was not lawfully required. This changed when a series of laws, beginning in 1882, laid the groundwork for legal segregation in most aspects of society. Stringent voting laws disenfranchised most African Americans, and by 1915, African Americans could not ride in the same railroad or trolley cars, attend the same schools, or work in the same rooms at textile mills as white citizens. ${ }^{55}$ This legacy of racial inequality survived well into the twentieth century, segregating the African American community from the city's white residents.

[^17]Though many local counties and municipalities were mandated to provide education for African American students, these schools were frequently underfunded, underserved, and housed in derelict structures without sufficient desks, chairs, and books. Julius Rosenwald, president of Sears, Roebuck and Company, became aware of the need for improved conditions in African American schools in the South, particularly in rural areas. In an effort to help, Rosenwald donated money to teacher-training institutions and other charitable causes. Booker T. Washington, of the Tuskegee Institute, was aware of Rosenwald's philanthropic activities; in 1912, he asked Rosenwald to fund a pilot program that provided seed money to rural school districts in Alabama for the construction of schools. After observing the success of the pilot program developed by Washington, Rosenwald created the Julius Rosenwald Fund in 1917, and eventually placed the school building program under its administration. As part of the program, local communities were required to provide money and materials matching the contributions given by the Rosenwald Fund. Using architectcreated plans, schools were constructed with consideration to light, ventilation, and sanitation. These buildings featured between one- and ten-teacher plans. Often, teachers' houses and shop buildings were also constructed as associated buildings; these locations became centers of community activity.

At the conclusion of the program in 1932, the Rosenwald Fund had erected 4,977 schools, 217 teachers' homes, and 163 shop buildings across 15 states. In South Carolina, 481 schools, eight homes, and 11 shops were constructed. ${ }^{56}$ Despite having a relatively small African American population, Greenville County had 31 Rosenwald-funded schools and support buildings, more than any other county in South Carolina. Between the 1917-1918 and 1927-1928 school years, the Rosenwald Fund provided \$17,235.00 in philanthropic contributions toward African American education in Greenville County. ${ }^{57}$ Many of the Rosenwald-funded schools were utilized until the 1960s when school districts began integrating. At that time, many Rosenwald schools were heavily altered, were used for a variety of other purposes, or fell into disrepair as rural populations declined. To date, no surviving Rosenwald-funded schools or support buildings have been identified as extant within Greenville County.

### 2.7 Twentieth-Century Changes

Throughout the twentieth century, many of Greenville's early mills were consolidated under single ownership. Representative of this trend in textile mill consolidation was Lewis Parker, the president of Victor Manufacturing Company in Greer. In the early twentieth century, Parker established Monaghan Mills while also assuming presidency of the Whaley Mills in Columbia and an additional mill in Greer. In 1910, Parker consolidated these mills under the Parker Cotton Mills Company, which owned sixteen mills with combined capital of $\$ 15$ million. By this time, Greenville had earned the nickname "Textile Center of South." The textile industry would become even more important during the next half century, and by 1969, textile corporations within Greenville County invested $\$ 170$ million. ${ }^{58}$

When President Roosevelt took office in 1933, the nation was in desperate need of economic relief. Roosevelt developed a series of Depression-era New Deal programs that provided paid work as well as the administration of grants to state and local agencies for various public improvements. One such program was the Civilian Conservation Corps (CCC), which provided work to young men on a wage basis. Many of these young men worked in the forests, cutting trails and fighting wildfires. Others in the CCC were involved in the creation of state and national parks, clearing trails for recreation and constructing necessary park facilities. In Greenville County, four CCC camps were established. Perhaps most notably, Camp Palmetto was established in 1933 at Blythe Shoals, near Cleveland. Consisting of 212 men, Camp Palmetto was tasked

[^18]with securing the forests from wildfires; the company also cut fire trails, created sand gravel roads, and put up 46 miles of telephone wire. ${ }^{59}$ In 1935, Camp Palmetto began the creation of Paris Mountain State Park. The park building effort included building roads, clearing vegetation and debris, and constructing necessary park facilities. In 1936, Camp Palmetto completed construction of a bath house and caretaker's house, and the camp was moved from the Blythe Shoals area to Paris Mountain.

Two additional camps in Greenville County were part of a soil erosion demonstration project. One camp was located two miles north of Greer; the other was located near Tigerville on a resident's farm. Amongst other tasks, these soil erosion demonstration camps filled gullies and planted four million trees for soil stabilization. ${ }^{60}$ The New Deal programs provided valuable work opportunities and financial assistance to the people and municipalities of Greenville County throughout the Depression; however, World War II brought a relative economic boom to Greenville and its war-related industries. The wartime economic growth ultimately brought many of the New Deal programs to a close, including the CCC camp located at Paris Mountain, which closed on March 31, 1940.

The years after World War II brought continued economic growth and diversification to Greenville. The City of Greenville sought to take advantage of its economic growth by annexing several areas surrounding the city by the late 1940s. At that time, educational changes were also taking place in the city and county of Greenville. Greenville County contained two public school districts that served two-thirds of the county's children; in 1951, the Greenville County Board of Education created a consolidated school system called the School District of Greenville County. ${ }^{61}$ The mid-twentieth century also saw developments in higher education. The Christian institution Bob Jones University relocated to Greenville County from Tennessee in 1947. After the expansion and relocation of Furman University to Travelers Rest in the 1950s, the university continued to thrive. Furman became independent of the Southern Baptist Convention in 1990.

Greenville County's landscape was also dramatically altered with the passage of the Highway Act of 1956. Interstate 85 was constructed south of Greenville near the location of the old Indian path. The old Laurens Road (US Highway 276 South) burgeoned into a wide highway, stretching out from the city center, and traveling through Mauldin, Simpsonville, and on to Fountain Inn. US 276, nicknamed "the Golden Strip," was ultimately expanded to create Interstate 385, connecting Greenville to Interstate 26. These interstates served as ideal locations for additional textile mills and other industrial plants. Suburban growth soon followed, with housing and large shopping centers emerging throughout the county. With the opening of the GreenvilleSpartanburg Airport in 1962, Greenville was further integrated into an emerging global economy.

Charles E. Daniel of Daniel Construction played a primary role in the growth, development, and industrialization of Greenville County. Born in Elberton, Georgia, Daniel moved to Anderson, South Carolina, with his family as a young man. He got his start in construction building mill houses for Townsend Lumber Company in Anderson. A determined entrepreneur, Daniel founded Daniel Construction Company in 1934 and immediately began building a client base by promising to build better, faster, and cheaper than his competitors. By 1942, Daniel was one of the major contractors involved in the construction of the Greenville Army Air Base (later Donaldson Air Force Base). In the post-war era, Daniel began recruiting industrial companies to Greenville, usually in textile-related businesses. By the 1960s, Daniel Construction Company was at the forefront of the emerging industrial economy in the South, and by 1964, the company had constructed over 400 plants in the South, with 250 of those located in South Carolina. These plants provided an estimated 150,000 new industrial jobs to the region. ${ }^{62}$

Today, Daniel's legacy is evident in the diversification of industry throughout Greenville County, as well as the physical development and modernization of its downtown, residential corridors, and transportation improvements. As mill villages began to decline in popularity, Daniel also became instrumental in growth of suburban development, particularly east and south along the Golden Strip. In addition to textile develop-

59 Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 346-347.
60 Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 346-347.
61 Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 238, 397.
62 Kenneth F. Marsh and Blanche Marsh, The New South: Greenville, South Carolina (Columbia, SC: The R.L. Bryan Company, 1965 ), 155.
ment, Daniel also began attracting other industrial plants to Greenville, diversifying the economy as textiles began to decline. Daniel also played a prominent role in many of the notable transportation improvements throughout the region. For example, in 1957, Daniel determined that Greenville needed an airport to make continued industrial growth more viable. Joining alongside other notable citizens and businessmen, including Roger Milliken, Daniel formed a committee to finance design and construction studies for an airport in the region. Daniel and Milliken unveiled the plan for the Greenville-Spartanburg Airport a year later. Shortly before his death, Daniel planned for the construction of the Daniel Building in downtown Greenville, hoping to encourage reinvestment in the city's struggling downtown. Designed by Stevens and Wilkinson of Atlanta, Georgia, the 25 -story building was the tallest, all-electric building between Washington, DC and Atlanta and was the embodiment of Daniel's dream for Greenville as well as the emerging "New South." ${ }^{63}$

After his death in 1964, Daniel's widow continued her philanthropic presence in Greenville County until her death in 1992. Mrs. Daniel donated $\$ 56$ million to local colleges and universities, including her personal residence White Oaks, which now serves as the president's house of Furman University. The $\$ 56$ million was primarily given to private colleges in South Carolina, including Furman University and Erskine University. The University of South Carolina and Clemson University, both public universities, also received donations. All told, Mr. and Mrs. Daniel donated more than $\$ 100$ million to charitable causes. These contributions not only created a rise in the standard of education within South Carolina, but also improved the quality of life of many of its residents.

63 Marsh and Marsh, The New South: Greenville, South Carolina, 161.

### 3.0 Previously Identified Historic Architectural Resources

### 3.1 National Register Listed Properties

The Greenville County architectural survey universe currently contains 19 individual properties, historic districts, and sites listed on the NRHP. Per the Scope of Work, these resources were not included as part of the survey and, therefore, were not revisited during the field work. Table 3.1 provides a listing of these properties.

### 3.2 Previously Recorded NRHP-Eligible and Potentially Eligible Properties

SHPO has determined that there are 28 NRHP-eligible individual resources and four potentially NRHPeligible resources within the survey universe. Because priority consideration for this survey was given to previously unrecorded resources, these were not subject to revisit during the field survey. Table 3.2 provides a listing of previously recorded resources in the survey universe along with SHPO eligibility determinations.

### 3.3 Previous Architectural Surveys within the Survey Universe

Many of the properties listed in Table 3.2 were recorded through cultural resource compliance projects as required by Section 106 of the National Historic Preservation Act and its implementing regulations. In addition to the cultural resource compliance surveys, three other significant documentation efforts have been conducted for Greenville County:

- Greenville Multiple Property Submission National Register Nomination, prepared by Building Conservation Technology, 1982.
- City of Greenville Architectural Inventory, conducted by Edwards-Pitman Environmental, Inc., 2003.
- A Heritage Resources Management Plan for Greenville County, South Carolina: Our Gift to the Future, prepared by the Chicora Foundation, 1995. (A copy of this document is available in the South Carolina Room at the Hughes Main Library in Greenville.)

Two of these efforts, the Greenville Multiple Property Submission National Register nomination and the City of Greenville Architectural Inventory, focused on incorporated areas of the county, which were not surveyed during this effort. A Heritage Resources Management Plan was based on a cartographic survey of Greenville County in which historical maps were examined to identify the probable locations of architectural and archaeological resources throughout the county.

### 3.4 Historic American Building Survey Documentation within the Survey Universe

Four resources within unincorporated Greenville County have received Historic American Building Survey/ Historic American Engineering Record Documentation. Those buildings are:

- Joel Poinsett House, Greenville vicinity
- Paris Mountain State Park, bathhouse, Paris Mountain State Park, off SC Route 253, Greenville vicinity
- Road S-455 Bridge, Spanning Reedy River on Road S-455, Greenville vicinity
- Poinsett Bridge, SC Route 42, two miles Northwest of Route 11, 2.5 miles east of SC Route 25, Tigerville vicinity

Table 3.1 National Register Listed Properties in Unincorporated Greenville County (data from South Carolina ArchSite).

| Name | Location | Year <br> Listed | NRIS \# | Area of <br> Significance | SHPO \# |
| :--- | :--- | :--- | :--- | :--- | :--- |
| Poinsett Bridge | About 4 mi. N of Tigerville on <br> CR 42 | 1970 | 70000590 | Architecture | 0029 |
| McBee Methodist Church | Main St. | 1972 | 72001212 | Architecture | 0026 |
| Gilreath's Mill | 4 mi. NW of Greer on SC 101 | 1976 | 76001703 | Commerce | 0017 |
| Fairview Presbyterian Church | W of Fountain Inn off SC 418 | 1977 | 77001224 | Architecture | 0014 |
| William Bates House | E of Greenville on SC 14 | 1978 | 78002512 | Industry | none |
| Arthur Barnwell House | S of Greer on SR 14 | 1982 | 82003867 | Social History | 0002 |
| John H. Goodwin House | SC 11 at U.S. 25 | 1983 | 83002197 | Architecture | 0018 |
| Cureton-Huff House | SW of Simpsonville off SC 176 | 1983 | 83002196 | Architecture | none |
| Pelham Mills Site (38GR165) | Location information restricted <br> under Section 304 of the <br> National Historic Preservation <br> Act [16 U.S.C. 470w-3] | 1987 | 87001954 | Archaeology/ <br> Historic/Non- <br> Aboriginal | $38 G R 165$ |
| Woodside Cotton Mill Village <br> Historic District | Woodside Ave. and E. Main St. | 1987 | 87000678 | Industry | none |
| George Salmon House | SC 414, 1.8 mi. W of US 25 | 1988 | 87002520 | Exploration/ <br> Settlement | 0035 |
| Tullyton | 606 Hickory Tavern Rd. | 1990 | 89002151 | Architecture | 0036 |
| Parker High School Auditorium | 900 Woodside Ave. | 1996 | 96000144 | Architecture | 0920 |
| Paris Mountain State Park <br> Historic District | 2401 State Park Rd. | 1998 | 98000416 | Landscape <br> Architecture | none |
| Monaghan Mill | 201 Smythe Street | 2005 | 05001159 | Industry | none |
| Hopkins Farm | 3717 Fork Shoals Rd. | 2007 | 07000987 | Agriculture | none |
| Campbell's Covered Bridge | 123 Campbell Covered Bridge <br> Road | 2009 | 09000483 | Engineering/ <br> Transport | none |
| Earle R. Taylor House and <br> Peach Packing Shed | 1001 Locust Hill Rd. | 2012 | 12000372 | Agriculture/ <br> Architecture | none |
| Southern Bleachery and Print <br> Works | 113 Mills St. | 2012 | not <br> available | Industry | 2509 |

Table 3.2 Previously Recorded Properties in Unincorporated Greenville County (data from ArchSite).

| SHPO Site \# | Resource Name (if given) | SHPO Eligibility Determination | Location |
| :---: | :---: | :---: | :---: |
| 0086 |  | Not Eligible | 35 Poe Street |
| 0087 |  | Not Eligible | 33 Poe Street |
| 0088 |  | Not Eligible | 31 Poe Street |
| 0089 |  | Not Eligible | 29 Poe Street |
| 0090 |  | Not Eligible | 27 Poe Street |
| 0091 |  | Not Eligible | 25 Poe Street |
| 0092 |  | Not Eligible | 17 Poe Street |
| 0093 |  | Not Eligible | 15 Poe Street |
| 0094 |  | Not Eligible | 13 Poe Street |
| 0095 |  | Not Eligible | 11 Poe Street |
| 0096 |  | Not Eligible | 9 Poe Street |
| 0097 |  | Not Eligible | 7 Poe Street |
| 0098 |  | Not Eligible | 2 Buncombe Street |
| 0099 |  | Not Eligible | 1 Buncombe Street |
| 0100 |  | Not Eligible | 201 Lee Street |
| 0101 |  | Not Eligible |  |
| 0859 |  | Not Eligible | S-50 and S-448 intersection |
| 0860 |  | Not Eligible | 1240 Fork Shoals Road |
| 0861 |  | Not Eligible | 1316 Fork Shoals Road |
| 0862 |  | Not Eligible |  |
| 0863 |  | Not Eligible |  |
| 0864 |  | Not Eligible |  |
| 0865 |  | Not Eligible |  |
| 0866 |  | Not Eligible |  |
| 0867 |  | Not Eligible |  |
| 0868 | Belle Oaks | Not Eligible |  |
| 0869 |  | Not Eligible |  |
| 0870 |  | Potentially Eligible |  |
| 0871 |  | Potentially Eligible |  |
| 0872 |  | Not Eligible |  |
| 0873 |  | Not Eligible |  |
| 0874 \& 0874.01 |  | Not Eligible |  |
| 0875 |  | Not Eligible |  |
| 0876 |  | Potentially Eligible |  |
| 0877 |  | Not Eligible |  |
| 0878 |  | Not Eligible |  |
| 0879 |  | Not Eligible |  |
| 0880 |  | Not Eligible |  |
| 0882 | Greene House | Not Eligible |  |
| 0883 |  | Not Eligible |  |

(continued)

Table 3.2 Previously Recorded Properties in Unincorporated Greenville County (data from ArchSite) (continued).

| SHPO Site \# | Resource Name (if given) | SHPO Eligibility Determination | Location |
| :---: | :---: | :---: | :---: |
| 0901 |  | Eligible | 1220 S. Batesville Rd |
| 0902 |  | Not Eligible | 181 E. Jones Road |
| 0904 |  | Not Eligible | 2426 Highway 14 |
| 0905 |  | Not Eligible | E. Shelter Rd @ E. Phillips |
| 0906 |  | Not Eligible | 2581 E. Phillips Rd |
| 0907 |  | Not Eligible | 1222 S. Batesville Rd |
| 0921 | Taylor Peach Shed | Eligible | N of intersection of SC 101 and Taylor Road |
| 0921 |  | Not Eligible |  |
| 0922 | Earle R. Taylor House | Eligible | 1001 Locust Hill Road |
| 0922 |  | Not Eligible |  |
| 0923 |  | Not Eligible |  |
| 0924 |  | Not Eligible |  |
| 0925 |  | Not Eligible |  |
| 0926 |  | Not Eligible |  |
| 0927 |  | Not Eligible |  |
| 0930 |  | Not Eligible |  |
| 0933 |  | Not Eligible |  |
| 0951 |  | Not Eligible | 41 Ashmore Rd |
| 0952 | Coker Residence | Not Eligible | Augusta Rd, south of Piedmont Golf Course Rd |
| 0954 |  | Not Eligible | subdivision off Monroe Rd |
| 0955 |  | Not Eligible | subdivision off Monroe Rd |
| 0956 | Richardson Residence | Not Eligible | 307 Apple Blossom Drive |
| 0972 | Sidney P Stover House | Not Eligible | 210 State Park Road |
| 0973 | William L Stover House | Not Eligible | 300 State Park Road |
| 1190 |  | Not Eligible | 1717 Old Spartanburg Road |
| 1191 | Harold Hudson House | Not Eligible | 1711 Old Spartanburg Road |
| 1192 | Doug Hall Garage | Not Eligible | adjacent to 1224 Old Spartanburg Road |
| 1193 | Doug Hall House | Not Eligible | 1224 Old Spartanburg Road |
| 1194 | Bascombe P. Hall House | Not Eligible | 1218 Old Spartanburg Road |
| 1195 |  | Not Eligible | 1216 Old Spartanburg Road |
| 1196 |  | Not Eligible | Junction of Enoree Road and Old Spartanburg Road |
| 1197 |  | Not Eligible | 2185 South Batesville Road |
| 1260.01-1260.03 | Piedmont \& Northern RR River Junction Buildings | Eligible | West Washington Street Extension |
| 1261 | Structure \#237014700300 | Not Eligible | West Washington Street Extension |
| 1262 | Owens Store | Not Eligible | SC Route 101 and 290 |
| 1263 | Dunhams Bridge | Eligible | Spans Saluda River on old SC Hwy. 81 |
| 1264 | Oak Meadow Farm | Not Eligible | Old Hundred Road |

(continued)

Table 3.2 Previously Recorded Properties in Unincorporated Greenville County (data from ArchSite) (continued).

| SHPO Site \# | Resource Name (if given) | SHPO Eligibility Determination | Location |
| :---: | :---: | :---: | :---: |
| 2324 |  | Not Eligible | 3437 Highway 414 |
| 2325 |  | Not Eligible | 3437 Highway 414 |
| 2326 |  | Not Eligible | 3447 Highway 414 |
| 2327 |  | Not Eligible | 3435 Highway 414 |
| 2328 |  | Not Eligible | 112 Highway 101 |
| 2329 | Highlands Baptist Church | Not Eligible | 3270 Highway 414 |
| 2330 | Highlands School | Potentially Eligible | 3270 Highway 414 |
| 2331 |  | Not Eligible | 134 Donaldson Drive |
| 2331 \& 2331.01 |  | Not Eligible | 112 Highway 101 |
| 2333 | Doctor's House | Not Eligible | Highway 101 |
| 2334 |  | Not Eligible | Highway 101 |
| 2335 |  | Not Eligible | 6 miles west of intersection of SC 11 and US 25 |
| 2337 |  | Not Eligible | SE corner of intersection of SC 11 and SSR 119 |
| 2338 |  | Not Eligible | NW corner of intersection of SC 11 and SSR 119 |
| 2362 | Thomas Edmond Garrison Farm | Not Eligible | 901 Reedy Fork road |
| 2363 | Willard Dill House | Not Eligible | 1755 Gibbs Shoal Rd. |
| 2365 |  | Not Eligible | 1770 Gibbs Shoal Rd. |
| 2373 |  | Not Eligible | 1006 Hammett Bridge Road |
| 2375 |  | Not Eligible | 2420 Locust Hill Road |
| 2376 |  | Not Eligible | 2404 Locust Hill Road |
| 2377 |  | Not Eligible | 2402 Locust Hill Road |
| 2378 |  | Not Eligible | 2405 Locust Hill Road |
| 2379 | St. Mark United Methodist Church | Not Eligible | St. Mark Road, S of intersection with SC 290 |
| 2380 |  | Not Eligible | 912 St. Mark Road |
| 2381 |  | Not Eligible | 916 St. Mark Road |
| 2382 |  | Not Eligible | 926 St. Mark Road |
| 2383 |  | Not Eligible | 2331 Locust Hill Road |
| 2384 |  | Not Eligible | 2332 Locust Hill Road |
| 2385 | Huff, Swan House | Not Eligible | 2920 Fork Shoals Rd |
| 2386 | Thackston's Store | Not Eligible | 2940 Fork Shoals Rd |
| 2387 | Thackston's Cotton Gin | Not Eligible | 2917 Fork Shoals Rd |
| 2388 | Fellowship Church Cemetery | Not Eligible | NE of Fork Shoals Rd \& W Georgia Rd Intersection |
| 2391 | McHaffey House | Not Eligible | W of 2920 Fork Shoals Rd on W Geogria Rd |
| 2426 |  | Not Eligible | 150 Riley Smith Road |
| 2427 |  | Not Eligible | 117 Fairforest Way |

(continued)

Table 3.2 Previously Recorded Properties in Unincorporated Greenville County (data from ArchSite) (continued).

| SHPO Site \# | Resource Name (if given) | SHPO Eligibility Determination | Location |
| :---: | :---: | :---: | :---: |
| 2428 | Sullivan House | Not Eligible | 169 Fairforest Way |
| 2429 |  | Not Eligible | 601 Jacqueline Lane |
| 2430 |  | Not Eligible | 10 Fairforest Way |
| 2431 | Cornerston Baptist Church, Mt. Zion Christian Fell | Not Eligible | 30 Fairforest Way |
| 2432 | Macshore Classics Blouses \& sprtswear, Carolina BI | Eligible | 2836 Laurens Road |
| 2434 \& 2434.01 |  | Not Eligible | 5321 Old Buncombe Road |
| 2436 | 2436 | Eligible | 259 Adams Mill Road |
| 2498 |  | Not Eligible | 5928 Taylor Road |
| 2499 |  | Not Eligible | N of intersection of Taylor Road and SC 101 |
| 2500 |  | Not Eligible | 1103 Locust Hill Road |
| 2501 \& 2501.01 |  | Not Eligible | 1107 Locust Hill Road |
| 2502 \& 2502.02 |  | Not Eligible | 1113 Locust Hill Road |
| 2503 |  | Not Eligible | 1110 Locust Hill Road |
| 2504 |  | Not Eligible | 1106 Locust Hill Road |
| 2509 | Southern Bleachery | Eligible | 113 Mill Street |
| 2764 |  | Not Eligible | 402 Roper Mountain Road |
| 2765 \& 2765.01 | Roper Mountain Baptist Church \& Cemetery | Not Eligible | 300 Roper Mountain Road |
| 2766 |  | Not Eligible | 141 Old Sulphur Springs Road |
| 2767 |  | Not Eligible | 137 Old Sulphur Springs Road |
| 2769 |  | Not Eligible | 270 Old Sulphur Springs Road |
| 2772 | Stone's Mill | Not Eligible | 1212 Jones Mill Road |
| 2773 | Carl Bagwell House | Not Eligible | 1529 Roper Mountain Road |
| 2774 | Mildred Byars House | Not Eligible | 106 Snipes Road |
| 2775 | Edna Lee Godfrey House | Not Eligible | 1611 Roper Mountain Road |
| 2776 |  | Not Eligible | 1803 Roper Mountain Road |
| 2778 | Walker Cemetery | Not Eligible | S. side of Roper Mountain Road, .3 mi W of Garlington Rd. |
| 2783 |  | Not Eligible | 207 Moore Road |
| 2784 |  | Not Eligible | 2 Moore Road |
| 2785 |  | Not Eligible | 373 Feaster Road |
| 2786 |  | Not Eligible | South of Feaster Road, .15 mile SW of intersection with Bagwell Rd. |
| 2788 |  | Not Eligible | NW quadrant of Brushy Creek Road and Stange/Kimbrell Roads Intersection |
| 2790 | Baker's Chapel Elementary School | Eligible | 555 S. Old Piedmont Highway |
| 2791 | Bryson Elementary School | Eligible | 1102 Howard Drive |
| 2794 | Laurel Creek Elementary School | Not Eligible | Dallas Road 0.5 miles off Ridge Road |

Table 3.2 Previously Recorded Properties in Unincorporated Greenville County (data from ArchSite) (continued).

| SHPO Site \# | Resource Name (if given) | SHPO Eligibility Determination | Location |
| :---: | :---: | :---: | :---: |
| 2799 |  | Not Eligible | 2850 N. Highway 101 |
| 2800 | Hudson Home | Eligible | 505 Hudson Road |
| 177-1247 \& . 01 |  | Not Eligible | 300 Wilson Bridge Road |
| 177-1248 |  | Not Eligible | 207 Wilson Bridge Road |
| 177-1248.01 \& . 02 |  | Not Eligible | 207 Wilson Bridge Road |
| 177-1249 \& . 01 |  | Not Eligible | Off Wilson Bridge Road |
| 177-1250 |  | Not Eligible | Wilson Bridge Road |
| 177-1251 \& . 01 |  | Not Eligible | Fairview Road Extension |
| 177-1252 \& . 01 |  | Eligible | 206 Fairview Road Extension |
| 177-1253 \& . 01 |  | Not Eligible | 301 Old Fairview Road |
| 177-1254 |  | Not Eligible | 403 Fairview Road Extension |
| 207-0975 |  | Not Eligible | 335 Old Easley Hwy |
| 207-0977 |  | Not Eligible | 1304 Piedmont Highway |
| 207-0978 |  | Not Eligible | 1314 Piedmont Highway |
| 207-0979 |  | Not Eligible | 1316 Piedmont Highway |
| 207-0980 |  | Not Eligible | 1328 Piedmont Highway |
| 207-0981 |  | Not Eligible | Lakeside Park, Piedmont Highway |
| 207-0982 |  | Not Eligible | 1624 Piedmont Highway |
| 207-0983 |  | Not Eligible | 1701 Piedmont Highway |
| 207-0984 |  | Not Eligible | Piedmont Highway (across from Lakeside Park) |
| 207-0985 |  | Not Eligible | 1718 Piedmont Highway |
| 207-0986 |  | Not Eligible | 1709 Piedmont Highway |
| 207-0988 |  | Not Eligible | 2046 Piedmont Highway |
| 207-0989 |  | Not Eligible | 2014 Piedmont Highway |
| 207-0990 |  | Not Eligible | 932 Piedmont Highway |
| 207-0992 |  | Not Eligible | 1302 Piedmont Highway |
| 207-0993 |  | Not Eligible | 201 Helen Drive |
| 207-0994 |  | Not Eligible | 2048 Piedmont Highway |
| 207-0995 |  | Not Eligible | 1841 Piedmont Highway |
| 207-0996 |  | Not Eligible | 1725 Piedmont Highway |
| 207-0997 |  | Not Eligible | 1723 Piedmont Highway |
| 207-0998 |  | Not Eligible | 1636 Piedmont Highway |
| 207-0999 |  | Not Eligible | 1405 Piedmont Highway |
| 207-1000 |  | Not Eligible | 2030 Piedmont Highway |
| 207-1233 |  | Not Eligible | 6244 White Horse Road (US 25) |
| 207-1234 |  | Not Eligible | 6227 White Horse Road (US 25) |
| 207-1235 |  | Not Eligible | 6339 White Horse Road (US 25) |
| 324-1210 |  | Not Eligible | 1524 Lowndes Hill Road |

(continued)

Table 3.2 Previously Recorded Properties in Unincorporated Greenville County (data from ArchSite) (continued).

| SHPO Site \# | Resource Name (if given) | SHPO Eligibility Determination | Location |
| :---: | :---: | :---: | :---: |
| 324-1214 |  | Not Eligible | 511-B Woodruff Road |
| $\begin{array}{\|l\|} \hline 387-1236- \\ 387-1236.04 \\ \hline \end{array}$ |  | Not Eligible | 7515 White Horse Road (US 25) |
| 387-1237 |  | Not Eligible | 910 Hunts Bridge Road at White Horse Rd |
| 387-1238 \& . 01 |  | Not Eligible | 8716 White Horse Road (US 25) |
| 396-0987 |  | Not Eligible | Piedmont Highway, South of 850 |
| 396-0991 |  | Not Eligible | 818 Piedmont Highway |
| 477-1257 |  | Not Eligible | NW side of Jenkins Bridge Rd |
| 477-1258 |  | Not Eligible | NW side of Jenkins Bridge Rd. |
| 510-1211 | Fincher-Stallings Mill | Eligible | Stallings Road |
| none | Azariah Woodson Farmstead | Contributes to Eligible District | 840 Beech Springs Road |
| none | Henry F. Woodson Farmstead | Contributes to Eligible District | 856 Beech Springs Road |
| none | Campbell's Covered Bridge | Eligible | Off Pleasant Hill Rd. btw Tigerv'le \& Gowansv'le |
| none | Z.P. Batson Mill | Eligible | New McElhaney Rd., on Armstrong Creek |
| none | Greenville US Army Reserve Center | Not Eligible | 2201 Laurens Rd. |
| none | O'Hara Barton Homeplace | Eligible | Old Tugaloo Road |
| none | Walker Family Cemetery | Not Eligible | Roper Mt. Rd. |
| none | Holly Springs School House | Eligible | 117 Holly Springs Road |
| none | Gilliard House | Eligible | 55 Stallings Road |
| none | William E. and Grace Deal Holbrook House | Not Eligible | 119 Old Grove Road |
| none |  | Not Eligible | NW quadrant of Brushy Creek Road and Stange/Kimbrell Roads Intersection |
| 293-0974 | The Henderson House | Not Eligible | 2404 Woodruff Road |
| 1265 | Hopkins Place Farm | Eligible | Fork Shoals Road (S-146) |
| none * | Berry's Mill | Eligible | SC 14 |
| 2364 | Sudduth Farm | Not Eligible | 1749 Gibbs Shoal Rd. |
| none * | Williams-Cleveland House | Eligible | Between Slater and Saluda Streets |
| none * | Monaghan Mill | Eligible | 201 Smythe Street |
| none * | Earlesdale | Eligible | 104 Earlesdale Drive |
| none * | F.W. Poe Manufacturing Company Store \& Office BIdg | Eligible | \#4 A Street |
| none * | Brutontown Neighborhood | Not Eligible | North of Rutherford Road |
| none * | Dr. James Nesbit House | Eligible | 17 E. Main Street |
| 2789 | Lincoln Elementary and High School | Eligible | 100 Harnitha Lane |

* Indicates a polygon was provided for the area; multiple resources may be included.


### 4.0 Survey Results

Brockington and Associates, Inc., identified 1,100 historic architectural resources in the survey universe. These resources include buildings, structures, objects, and sites. The identified historic architectural resources are dispersed throughout the survey universe. These resources are presented on USGS topographic maps in Appendix B. We assessed for NRHP eligibility all of the historic buildings that we included in the Greenville County survey.

Greenville County's architectural resources can be divided into several different categories. Residences, both grand and modest, are among the many types of historic buildings found within the survey universe. Other resources include sites, structures, and objects. Within these types, variations in function, material, and style account for varying visual qualities. An examination of Greenville County's historic resources in reference to these types will provide the best basis for understanding the significance of the resources that remain. A majority of the buildings identified in this survey could not be clearly assigned a stylistic label such as Greek Revival, Craftsman, or Queen Anne. These "folk" buildings have no identifiable academic style; however, they can still be usefully categorized according to plan and the external clues as to how the interior space of the building is organized.

Many of the houses defy the nomenclature of style. This survey uses the descriptive terminology recommended by McAlester and McAlester to include these buildings in an analysis of the historic architectural resources in Greenville County. ${ }^{1}$ These types include front-gable, gable-front and wing, massed-plan sidegable, hall-and-parlor, I-house, and pyramidal. This approach, which relies principally on plan rather than style, permits organization, categorization, and thus comparison, which is not possible with a reliance on academic styles. An analysis based primarily on style would result in most of these buildings being excluded from study. The principal differences among the buildings are in plan and form, not in style. The comparisons this approach allows will make possible future inquiries in the search for meaning of these differences.

The remainder of this section discusses the range of aboveground historic resources that we identified in the Greenville County survey. It is organized by building type or function. Within the types, the discussion is organized both chronologically and, where applicable, by style or plan.

### 4.1 Residential Resources

Of the 1,100 resources identified in the survey universe, the majority are domestic structures. Most of these are single-family houses. The survey includes houses that date from the mid-nineteenth century through to the mid-twentieth century. The majority of the houses surveyed in Greenville County could not be assigned to a particular academic style. However, the buildings that were given stylistic designations are important in showing Greenville County's uses and adaptations of national styles. The different styles represented in Greenville County will be discussed in this section. A discussion of the houses for which no stylistic designation could be given, broken down by house type, follows this section.

### 4.1.1 National Styles

Italianate. The Italianate style was primarily a Victorian style, coming into favor in the years surrounding the Civil War and lasting until the turn of the century. Nationally, it was a flexible style, capable of being used for both small-scale cottages and larger, more formal urban houses. Italianate houses generally are two or three stories tall with shallow roofs and wide, overhanging eaves that often feature decorative brackets. The windows of Italianate houses are often round-headed with crowns, while roofs are often surmounted by a square cupola or tower. Unincorporated Greenville County has relatively few examples of Italianate style architecture. One notable example includes Resource 3565 (Figure 4.1).

[^19]

Figure 4.1 View of Resource 3565, example of an Italianate-style house.

Queen Anne. The Queen Anne style is often associated with the term Victorian. It is perhaps the most picturesque of the styles of the late nineteenth and early twentieth centuries, and can be the most irregular in plan. The surfaces of these houses were enlivened through a variety of means, including projecting bay windows, patterned shingles, spindles, and half-timbering. Queen Anne houses are most notable for their architectural details, where decorative work can appear at nearly any juncture or on nearly any surface. Roof lines of Queen Anne houses can be very complex, with multiple cross-gables often creating a jumbled appearance, while towers of various shapes rise above the roofs. One-story porches tend to appear on Queen Anne houses and often wrap around several sides of the house. The porches offer additional avenues for decoration, including elaborate turned work, decorative brackets, and single or grouped columns of varying sizes. The Queen Anne style was most prominent between 1880 and 1910. Structures with elements of the Queen Anne style are common throughout Greenville County. Resource 3048 (Figure 4.2) is an example of this style.

Folk Victorian. This is a style that is applied to simpler folk houses built generally in the late nineteenth century that feature some of the decorative elements of the Italianate or Queen Anne styles. Most examples of this style are folk house types that have been embellished with spindlework or jigsaw details. There are numerous examples of Folk Victorian architecture in Greenville County, including both one-story and twostory. Resource 2994 (Figure 4.3) is an example of this style.


Figure 4.2 View of Resource 3048, example of a Queen Anne-style house.


Figure 4.3 View of Resource 2994, two-story example of Folk Victorian-style house.

Colonial Revival. Popular from 1880 to 1955, the Colonial Revival style grew out of the Queen Anne style. By the turn of the twentieth century, however, Colonial Revival had moved from more rustic examples to draw inspiration from the higher Georgian style of the late eighteenth and early nineteenth centuries. This is a ubiquitous house style that is associated with a wide range of meanings. In the late nineteenth century, for a variety of reasons, architects and homeowners began to look to America's colonial past for inspiration. This was part of a wider cultural movement that sought to find meaning and value in the specifically American past. This style, which included both decorative arts and architecture, emerged in the face of sweeping changes in American society that included increasing urbanization, industrialization, and immigration, as well as a greater interest in both sentimental and scientific study of history. Few examples of Colonial Revival style houses were identified during the survey; however, notable examples are Resource 2924 and 3241 (Figures 4.4 and 4.5).

Neoclassical Revival. This style is clearly related in inspiration and motivation to the Colonial Revival style. It, too, was popular in the late nineteenth and early twentieth centuries. Whereas the Colonial Revival style drew on eighteenth-century styles, especially Georgian, the Neoclassical style of the turn of the century drew on houses of the early and middle nineteenth century, particularly the early Classical Revival and Greek Revival styles. There are few examples of this style in unincorporated Greenville County. Two notable examples are Resources 3664 and 3695 (Figures 4.6 and 4.7).


Figure 4.4 View of Resource 2924, example of a Colonial Revival-style house.


Figure 4.5 View of Resource 3241, example of a Colonial Revival-style resource.


Figure 4.6 View of Resource 3664, example of a Neoclassical Revival-style house.


Figure 4.7 View of Resource 3695, example of a Neoclassical Revival-style house.
Italian Renaissance. This style of architecture drew from designs by the architectural firm of McKim, Mead and White at the landmark Villard houses. This second generation conformed more closely to traditional Italian style architecture than did its Italianate predecessor. Popular from the 1890s through the 1930s, Italian Renaissance architecture was popular throughout the country, but was less common than its contemporaries, such as the Tudor Revival and Craftsman style. Typical character-defining features include hipped roofs, wide overhanging eaves with decorative brackets and more elaborate windows on the lower level that often included arch detailing. Only one example of Italian Renaissance influenced architecture was identified in Greenville County, Resource 2862 (Figure 4.8).

Tudor Revival. This style draws on images of medieval England for its inspiration. The period of predominance for the Tudor Revival as a more or less accurate medieval style was relatively brief, lasting from the turn of the century to the late 1930s or early 1940s. Houses in this style tend to be one or one-and-a-half stories with cross-gabled roofs. They often have false half-timbering on the exterior walls, generally on the second half-story. Occasionally these houses will have multi-pane casement windows and relatively large chimney piles. Most examples of this style are found in neighborhoods, although a few rural examples were identified during the survey. One example is Resource 3495 (Figure 4.9).

Craftsman. Craftsman-style houses drew inspiration from the Arts and Crafts movement of the late nineteenth century. Occasionally they are mistaken for simple front- or side-gable folk houses. The difference is the presence of visible architectural details. These houses feature such elements as low-pitched roofs, often with overhanging eaves and exposed rafters and occasionally with decorative brackets or beams. Generally, these houses have projecting porches supported by wooden posts on brick or masonry piers. Most Craftsman houses are surmounted by side- or front-gabled roofs; occasionally, there are hip or cross-gable roofs. This style was prominent from about 1890 to the early 1930s. Several examples of this type resource were identified located throughout the county, such as Resource 2907 (Figure 4.10).


Figure 4.8 View of Resource 2862, example of an Italian Renaissance-style house.


Figure 4.9 View of Resource 3495, example of Tudor Revival-style house.


Figure 4.10 View of Resource 2907, example of a Craftsman-style house.

Minimal Traditional. Particularly in the years after World War II, most American houses tended to lose the formal and recognized stylistic associations that characterized houses through the early twentieth century. McAlester and McAlester, however, define a national style under which many of the new suburban houses built between the 1930s and after World War II can be categorized. ${ }^{2}$ Their name for this group of houses is Minimal Traditional. These tend to be one-story houses with a prominent off-center gable on the front, and often are constructed of brick. Given the tight time frame within which they often were built, they tended to be constructed in readily identifiable tracts or subdivisions. Not so much an urban style as are many of the earlier national styles, Minimal Traditional houses are predominantly suburban structures. Numerous examples of this style architecture were identified during the survey and are distributed throughout the survey universe. Resource 3267 (Figure 4.11) is a representative example.

Ranch. The Ranch style originated in the 1930s and gained popularity during the next decade, becoming the dominant style of dwelling across the country until the 1970s. The popularity of Ranch homes coincided with the county's dependence on automobiles. The car culture made it possible for suburban development that consisted of large lots to use Ranch houses that maximized façade width. The Ranch was also a popular and economic style for rural areas. The style was based loosely on earlier Spanish Colonial precedents and Prairie-style modernism. Ranch style houses appear throughout Greenville County in both the rural and developed areas. Numerous Ranch-style houses were surveyed in Greenville County, though most tended to concentrate in areas closer to the incorporated districts. Resource 3679 (Figure 4.12) is a typical Ranch style house. A notable example is Resource 3263 (Figure 4.13), which is an architect designed Ranch.

2 McAlester and McAlester, 477-478.


Figure 4.11 View of Resource 3267, example of a Minimal Traditional-style house.


Figure 4.12 View of Resource 3679, example of a Ranch-style house.


Figure 4.13 View of Resource 3263, example of an architect-designed, high-style Ranch house.

### 4.1.2 Folk House Types

The foregoing discussion of national styles represented in Greenville County is useful in understanding the impact of broader cultural and artistic trends in the area. However, the majority of the houses in the survey universe could not be given any stylistic designation. Thus, the majority of the dwellings in the county are left out of a stylistic analysis. In order to bring these houses into the analysis of the area's historic architecture, the survey team drew on folk housing types elaborated by McAlester and McAlester. ${ }^{3}$ A discussion of these types is presented below.

Front-Gable. These houses can have one or two stories with one to three bays across the façade. Craftsman and bungalow-influenced houses are the most prominent twentieth-century examples of this pervasive type. Unlike the buildings described in the Craftsman section above, however, many of these buildings lack architectural details and therefore are included in this folk section. Based on the survey findings, front-gable houses were a popular form of folk housing throughout Greenville County. Resource 3620 (Figure 4.14) is a typical front-gable style house.

Massed-Plan Side-Gable. These houses, which are at least two rooms wide and two rooms deep, became popular as a folk form after the Civil War. The house plan gained popularity after lightweight roof framing could span houses more than two rooms deep. ${ }^{4}$ Historically, this form is very popular and appears throughout the county. Resource 2875 (Figure 4.15) is a typical massed-plan side-gable style house.

[^20]4 McAlester and McAlester, 28.


Figure 4.14 Resource 3620, an example of a front-gable house in Greenville County.


Figure 4.15 Resource 2875, an example of a massed-plan side-gable house type in Greenville County.

Gable-Front and Wing. These houses feature a front-gable section with a side-gabled wing at a right angle. A shed or hip-roof porch often was added to the junction of the two wings. While these houses appear to have been altered over the years, the cross-gable sections often were built as a unit. A number of these houses were recorded during the survey, primarily in the southern half of the county. Both one and two story examples were common. Resource 3696 (Figure 4.16) is a typical gable-front and wing house style house.

I-House. This house type also was a popular folk form throughout the nineteenth and early twentieth centuries. These side-gable houses were two rooms wide with a central hallway and one room deep. Houses of this sort were quite popular throughout the South, and drew on notions of balance and symmetry from the eighteenth and early nineteenth centuries. A number of I-Houses were recorded during the survey throughout the county, though they appear more predominantly in the southern portions of the survey universe. Resource 3072 (Figure 4.17) is a typical I-house.

Hall-and-Parlor. This type includes houses that have a simple side-gabled roof covering a plan that is two rooms wide and one room deep. This was a traditional British form that was an early implant in the American colonies. This plan remained the basic housing form throughout the Southeast into the early twentieth century. Based on the survey findings, hall-and-parlor folk houses are common throughout Greenville County. Resource 3618 (Figure 4.18) is a typical hall-and-parlor style house.

Pyramidal. This house type is square in plan and features four-sided hip or pyramidal roofs. This plan and form became popular in the South in the early twentieth century. Based on a review of the survey findings, this type house is common throughout Greenville County. Resource 3052 (Figure 4.19) is a typical pyramidal style house.


Figure 4.16 Resource 3696, an example of the gable-front and wing house type in Greenville County.


Figure 4.17 Resource 3072, an example of an I-house in Greenville County.


Figure 4.18 Resource 3618, an example of the hall-and-parlor house type in Greenville County.


Figure 4.19 Resource 3052, an example of the pyramidal house type in Greenville County.

### 4.2 Commercial Resources

Beginning in the nineteenth century, a number of commercial districts developed within the towns of Greenville County. This development coincided with the majority of the residential neighborhoods in the towns of Piedmont, Marietta, and Bennettsville.

Like houses, most commercial buildings adhere to a few particular forms. Many of the commercial buildings surveyed in Greenville County were part of commercial blocks. Built during the closing years of the nineteenth and early twentieth centuries, these commercial blocks were made up of connected masonry or frame structures with little architectural detailing. While most commercial structures surveyed have little architectural ornamentation, simplified classical details such as door surrounds, lintels over windows, and decorative cornices can be common. The commercial buildings observed during the survey effort were generally one or two stories, and frequently featured traditional storefront configurations with plate-glass windows and central doors. The commercial block in Piedmont (Resource 3269; Figure 4.20) adheres to the common characteristics of typical late-nineteenth- and early-twentieth-century commercial buildings. Other commercial resources within the county were freestanding buildings that usually fell outside of a major commercial district. Resource 3296 (the Hungry Drover; Figure 4.21), Resource 3340 and Resource 3636 are typical examples.


Figure 4.20 View of Resource 3269, 4, 6, 8, and 10 Main Street in Piedmont, common commercial block architecture.


Figure 4.21 View of Resource 3296, typical freestanding commercial structure.

### 4.3 Institutional Resources

Institutional buildings, including churches, government buildings, healthcare facilities, schools, and libraries, are vital to the health of a community. With Greenville County's rich cultural and educational heritage, the survey universe contains buildings designed for many different institutional needs. These resources represent the systems that cement a civilization. Architecturally, institutional resources often represent the closest approximation to national academic styles in rural areas; more money and effort is put into their design and construction than into other buildings.

Churches are usually the center of a community, and sometimes can be its most architecturally elaborate buildings. Numerous churches were recorded for the historic resources survey, and Greenville County churches often exhibit elements of national styles such as Colonial Revival, Gothic Revival, and Neoclassical. The River of Life Church (Resource 3799; Figure 4.22), at the intersection of C Street and 2nd Avenue near Greenville, is a good example of the Gothic Revival style. Another typical example is that of the Cedar Shoals Baptist Church (Resource 2866; Figure 4.23), which features Colonial Revival elements with its Doric columns and a pedimented door. An atypical example recorded during the survey is the historic Cool Springs Primitive Baptist Church (Resource 3552; Figure 4.24). Located on the property of its 1956 counterpart (Resource 3320), the historic church was constructed in 1840.

Schools ensure continuity of knowledge from one generation to the next. Several rural schools were recorded as part of this survey. Resource 2837 (Figure 4.25) is a traditional one-room rural school house that dates to the turn of the century. The Gowensville School (Resource 3531; Figure 4.26) was a public school now used as a community building. Dating to 1922, it is a two-story brick edifice with minimal stylistic details. Another common example is Resource 3480 (Figure 4.27). Many buildings associated with education in Greenville County are often utilitarian buildings with few architectural details.

Recreational resources represent an effort by many government and private entities to provide opportunities for community or social development. The historic resources inventory includes a few parks currently


Figure 4.22 View of Resource 3799, the River of Life Church, a typical example of the Gothic Revival style.


Figure 4.23 View of Resource 2866, the Cedar Shoals Baptist Church, a typical example of Colonial Revival religious architecture found in Greenville County.


Figure 4.24 View of Resource 3552, the Cool Springs Primitive Baptist Church, an atypical example of religious architecture found in Greenville County.


Figure 4.25 View of Resource 2837, a rural one-room schoolhouse.


Figure 4.26 View of Resource 3531, the Gowensville School.


Figure 4.27 View of Resource 3480, an early to mid-twentieth-century school.
owned by the Greenville County Recreation District, namely the Cedar Falls Park (Resource 3032) and Pelham Mills Park (Resource 3206). In addition, the northern portion of Greenville County was historically home to several camps, such as Camp Old Indian (Figure 4.28). Many of these were built in the midtwentieth century for scouting or religious organizations and feature rustic style buildings, popularized by the National Park Service for its own facilities.

Government buildings are symbolic of a community's civic and economic pride and aspirations. Because the survey universe included unincorporated portions of Greenville County, we recorded few resources that fall into this category. Two include the Fork Shoals Tower Keeper's House (Resource 2993) and the Fork Shoals Fire Watch Tower (Resource 2995; Figure 4.29), both associated with fire watch responsibilities near Fork Shoals.

### 4.4 Transportation Resources

The development of railroads in Greenville County began in the second half of the nineteenth century and played an important role in the economic development of the area. Beyond the linear corridors themselves, there are relatively few existing buildings associated with the railroads of Greenville County, and none were recorded as part of this survey. Other transportation resources located within the survey universe are associated with the twentieth-century car culture, including service and gas stations. Resource 2883 is a circa 1930s gas station, although the tanks have been removed (Figure 4.30). Although bridges were not included as part of the survey methodology, one culvert was recorded. Located at the former Donaldson Air Force Base, Resource 3727 was constructed by the Works Progress Administration in 1937.


Figure 4.28 Resource 3313, Camp Old Indian, director's cabin.


Figure 4.29 Resource 2995, the Fork Shoals Fire Watch Tower.


Figure 4.30 Resource 2883, circa 1930s gas station.

### 4.5 Manufacturing Resources

In the last decades of the nineteenth century, Greenville County experienced the same forces of industrialization as the rest of the South Carolina Piedmont. Cheap labor and low tax rates brought Northern cotton mills to the South, encouraging and unparalleled economic boom in the region. Manufacturing resources associated with the textile industry were once prominent within the county. Manufacturing resources associated with the cotton and textile industry found homes in Slater, Conestee, Pelham, and Cedar Falls. Examples of these manufacturing resources include the Conestee Mill (Figure 4.31), which dates to the late nineteenth century, and the Slater Mill, which dates to 1928 (Figure 4.32).

### 4.6 Data Gaps

All portions of the survey universe were accessible to the architectural historian. There were no data gaps in the survey.


Figure 4.31 View of Resource 3207, Conestee Mill.


Figure 4.32 View of Resource 3408, Slater Mill.

### 5.0 Recommendations

### 5.1 NRHP Eligible Properties Identified During the Survey

During the course of the architectural survey, a total of 1,100 historic resources were recorded. Of these, we recommend 20 as eligible for listing in the NRHP. The majority of these resources included individual residential structures ranging in construction date from the mid-nineteenth century to the mid-twentieth century. In addition, we identified six districts or areas for future consideration of more intensive survey and investigation. Summary descriptions and photographs of each NRHP-eligible property and district are provided below. The descriptions are organized by resource number.

### 5.2 Individual Properties

## Resources 2835 and 2836, Holiday's Bridge Hydro Station and Dam

 Saluda River
## Fork Shoals Quad

Resources 2835 and 2836 (Figures 5.1-5.2) are the Holiday's Bridge hydro station and dam located on the Saluda River. Constructed by the Belton Power Company between 1904 and 1905, the facility went into operation on November 25, 1905, and supplied electricity to cotton mills at Belton, Williamston, and Anderson. As designed, the facility consists of a dam and reservoir (now called Holiday Lake), a canal, fore bay, penstocks and wheels, tail race, and power house. The fore bay and dam were built of cyclopean concrete, with the dam (spillway) measuring 319 feet in length, including an abutment 94 feet in length and another 177 feet long. ${ }^{1}$ The dam is faced with a layer of granite two feet thick. The power house structure was built of steel and brick, set on concrete arches leading to the tail race and a bedrock foundation. Downstream (south) elevation windows are paired nine-over-nine double hung sash with a fixed light transom and brick segmental arch. Upstream windows (bordering Holiday Dam Road) have been in-filled with vinyl. Additional architectural features include the clerestory windows and decorative brackets beneath the eaves. Other than the vinyl infill, the only substantial alteration has been an east elevation building expansion, probably to incorporate an additional generating unit. This is a historic addition, however, and utilized the same architectural characteristics such as segmental arches, window fenestration and common bond brick pattern. A small auxiliary building is located immediately east of the power house structure and features a similar brick and steel construction, but contains fixed metal framed lights, flat window arches, and projecting brick pilasters and cornice returns on the gable ends. The Holiday's Bridge hydro station and dam are both recommended NRHP eligible under Criterion A for historical associations with the textile industry and development in Greenville County, and also under Criterion C for their engineering design. Resources 2835 and 2836 are private property.

1 Cyclopean masonry method is defined as a structure containing in its body large pieces of stone uncut or unhewn from the quarry, located in the vicinity of the dam site and laid far enough apart from each other to allow spaces and interstices between them which would be thoroughly filled with concrete (see Patricia Stallings, Morgan Falls Project, 100 Years of Energy: Historic Hydro-Engineering Report, Fulton and Cobb Counties Georgia (FERC \#2237) (Prepared for the Georgia Power Company, 2005), 29.) Additional information on the dam and power plant was ascertained from George Wrigley, "The Hydro-Electric Plant of the Belton Power Company," in Electrical World, Volume 48 (December 15, 1906), pp 1147-1149.


Figure 5.1 Resource 2835, Holiday Bridge hydro station.


Figure 5.2 Resource 2836, Holiday Bridge dam, facing northwest.

## Resource 2848, Unidentified House

West side of US 25, north of Scott Road
Fork Shoals Quad
Resource 2848 (Figure 5.3) is a circa 1890s Folk Victorian home which, at the time of this survey, appeared to be unoccupied. The building is two stories in height and retains its original weatherboard siding and paired four-over-four windows with decorative pediments. Other architectural features include a hipped roof porch along the façade, the supports of which have decorative brackets. A left elevation entry porch contains similar features with added spindlework between the posts. The mansard roof, covered in composition shingles, is broken by three sharply pitched gables with barge boards, and the eaves are highlighted with decorative brackets. The historic rear addition contains a brick chimney. The property also contains one known outbuilding, a transverse crib barn. Resource 2848 pulls elements of several architectural styles. It has the classic mansard roof from Second Empire, the sharply pitched gables and verge boards of Gothic Revival, and the window pairings, fenestration and brackets of the Italianate style. As discussed in Chapter 4 and described by McAlester (1984), Folk Victorian architecture, popular in the late nineteenth century, often combined stylistic elements of earlier high styles of architecture. As such, Resource 2848 is an excellent example of this trend and is recommended eligible for the NRHP under Criterion C. Resource 2848 is private property.


Figure 5.3 Resource 2848, southeast oblique.

## Resource 2862, Unidentified House East side of SC276/ Geer Highway between Midway Road and Ellen Street Cleveland Quad

Resource 2862 (Figure 5.4) is a circa 1930 house influenced by the Italian Renaissance style of architecture. The masonry structure rises two stories in height and is clad in a yellow brick set in a running bond pattern. The façade features three bays, consisting of a central door flanked by metal casement windows. The door is accessed by a minimalized stoop recessed into the lawn, and has a projecting arch door surround, and an original fanlight. The flanking windows are metal casement with a decorative brick arch pattern above. Metal casement windows are also present on the second level and are set beneath deep eaves with decorative brackets. The north elevation has a porte cochere with arched openings along the front and side. The south elevation has a balancing design with decorative sloping curtain wall; this elevation contains a sunroom running the length of the house. The original sunroom door, however, has been enclosed. Other architectural details include a hipped roof covered in composition shingles, and two chimneys, one each on the south and east elevation. The wide eaves and flanking eaves of the house suggest the house was influenced by Italian Renaissance architectural design of the time, but is a minimalized interpretation. Recommended eligible under Criterion C, the house exhibits excellent architectural integrity and is considered a good example of an early-twentieth-century house inspired by Italian Renaissance architecture. Resource 2862 is private property.


Figure 5.4 Resource 2862, southwest oblique.

## Resource 2884, William Stone House

9569 Augusta Road (US 25)

## Belton East Quad

Resource 2884 (Figure 5.5) was submitted by the public for consideration during the historic resources survey. Also known as the William Stone House, it is a circa 1910 Queen Anne style house, although it lacks high style architectural details. The building rises two stories in height and exhibits the classical form of a Queen Anne style house with a central mass block and projections. While the primary foundation materials could not be ascertained during the survey, the porch foundation is composed of brick. Other porch details include a hipped roof, Doric column supports, a decorative railing, and two entry doors including one on the façade and a second along the right elevation. Windows throughout the building appear to be original double-hung sash set in a one-over-one configuration. The exterior is protected by original weatherboard siding and the hipped roof contains composition shingles. Two brick chimneys are present, both on the interior form of the building, and both feature corbelled caps. Three historic outbuildings are also present. Resource 2884 retains a high degree of its architectural integrity and is considered eligible for the NRHP under Criterion C as an example of a Queen Anne style home in Greenville County. Resource 2884 is private property.


Figure 5.5 Resource 2884, southwest elevation.

## Resource 2927, Unidentified House 1603 Fairview Road <br> Simpsonville Quad

Built in 1887, Resource 2927 (Figure 5.6) rises one story in height from a stone foundation. Original weatherboard covers the exterior and a compatible raised seam metal cladding covers the roof. The porch wraps around the right front corner of the house and is supported by decorative Doric columns. Sidelights flank the original door and windows are original four-over-four double hung sash. The façade also features gables with decorative barge boards over the front entry as well as a small dormer. The two large gables also feature decorative barge boards, as well as decorative diamond wooden shingles and stained glass windows. Windows in the central gable dormer are wooden one-over-one double-hung sash. Other architectural features include the interior brick chimneys, both original, with corbeled caps. There is one modern outbuilding on the property. Resource 2927 retains a high degree of its architectural integrity and is considered an excellent example of a rural Queen Anne style house. It is recommended eligible for the NRHP under Criterion C. Resource 2927 is private property.


Figure 5.6 Resource 2927, west elevation

## Resource 2931, Unidentified House <br> 1929 Fairview Road <br> Simpsonville Quad

Resource 2931 (Figure 5.7) is a circa 1890s pyramidal type house. At the time of the survey, a local resident noted this house may historically be associated with the Peden family. Rising two and one-half stories in height, the primary foundation was not visible at the time of survey, but the porch foundation, wrapping around the façade and both right and left elevations consists of continuous brick. The porch features simple wood post supports and decorative railing, the latter of which does not appear to be original. Other porch features include decorative shingles in a projecting gable front of the hipped roof along with decorative brackets under the eaves. The door surround appears to be original with sidelights, and the flanking windows are replacements, set in a nine-over-nine pane configuration. The second story features six-over-six replacement windows, along with brackets under the eaves. The half-story roof is hipped and covered in raised seam metal. This roof also features small hipped roof dormers on the façade, and right and left elevations. Each dormer contains decorative fixed windows. Other character-defining features include two symmetrically placed original brick chimneys with corbeled caps. The property also contains several outbuildings, only two of which appear to be historic. The property retains a high degree of architectural integrity and is recommended eligible for the NRHP under Criterion C as an intact example of a pyramidal type house in Greenville County. Resource 2931 is private property.


Figure 5.7 Resource 2931, south oblique.

## Resource 3129, McDavid House

8950 Augusta Road (US 25)
Pelzer Quad
Resource 3129 (Figure 5.8) is a house historically associated with the McDavid family. According to the current property owners, the core of the house is of log construction possibly dating to the late eighteenth century. Rising two-stories from a hidden foundation, the building features a primary lateral axis that purportedly dates to the 1830 s, along with a historic rear addition. The lateral portion of the house retains the feeling of the I-house form, typical in Greenville County. The weatherboard siding appears to be original to the 1830s construction and in some areas has been replaced with congruent wooden materials. The porch foundation and floor has been replaced, but the supports and hipped roof appear to date to the late nineteenth century, featuring decorative brackets and supports common with Folk Victorian architecture. The central door is a replacement, as are the six-over-six double-hung sash windows present throughout the house. Other character defining features include the decorative brackets beneath the second story eaves, the central gable on the roof with a decorative louvered vent, cornice returns, and the brick chimneys situated on each side elevation of the house. Although the chimneys appear to have been rebuilt or re-pointed, they retain their historic feel. A third chimney, located at the juncture of the historic rear addition, appears to be associated with a non-historic addition. While portions of the house were purportedly built in the late eighteenth century and early nineteenth century, the building exhibits architectural features, such as the decorative brackets, commonly associated with the Folk Victorian style of the late nineteenth century. It is recommended eligible for the NRHP as a good intact example of this style architecture under Criterion C. Resource 3129 is private property.


Figure 5.8 Resource 3129, southeast oblique.

## Resource 3205, Oakland Plantation

 259 Adams Mill Road
## Pelham Quad

Resource 3205 (Figure 5.9), also known as Oakland Plantation, was submitted by the public for consideration during the historic resources survey. The plantation is composed of a main house (resource 3205) and ten associated outbuildings (resources 3873, 3875, 3877, 3879, 3881, 3883, 3885, 3887, 3889, and 3891) (Figures 5.10-5.20). Dr. Thomas Collins Austin (1790-1883), a local physician and planter, built the main house in 1823. It is a two-story, side-gabled I-house with a substantial addition on the north and east elevations. The house features two exterior brick chimneys at each gable end, a composite shingle roof, wood siding, and a stone pier foundation that has been infilled with concrete masonry units. The west facing façade is symmetrical, with six six-over-six evenly distributed double hung sash wood windows on the second floor and a central paneled entry door flanked on each side by two evenly distributed six-over-six double hung sash wood windows. The one-story, full-width entry porch is supported by simple wooden Tuscan columns. Aluminum awnings have been added to each window and the front porch. The ten nineteenth and early twentieth century outbuildings at Oakland Plantation were used for agricultural purposes, and include five sheds of varying size $(3873,3875,3883,3885$, and 3891$)$, one potato house (3877), two barns $(3879,3881)$, one wash house (3887), and one spring house (3889). Resource 3205 and its associated outbuildings are recommended eligible for the NRHP under Criterion C. Resource 3205 and its associated resources are privately owned by the Greenville YMCA. Please contact the Greenville YMCA for additional information.


Figure 5.9 Resource 3205, west elevation.


Figure 5.10 Resource 3205, southwest oblique.


Figure 5.11 Resource 3873, shed, northeast oblique.


Figure 5.12 Resource 3875, shed, northeast oblique.


Figure 5.13 Resource 3877, potato house, east oblique.


Figure 5.14 Resource 3879, barn, southeast elevation.


Figure 5.15 Resource 3881, barn, south elevation.


Figure 5.16 Resource 3883, shed, south elevation.


Figure 5.17 Resource 3885, shed, southwest oblique.


Figure 5.18 Resource 3887, wash house, southeast elevation.


Figure 5.19 Resource 3889, spring house, east oblique.


Figure 5.20 Resource 3891, shed, east elevation.

## Resource 3241, White Oaks, Charles E. Daniel House 1209 Roe Ford Road <br> Paris Mountain Quad

Resource 3241 (Figure 5.21) is also known as White Oaks and the Charles E. Daniel House and was submitted by the public for consideration during the historic resources survey. Constructed in 1957, the building features a Palladian form in the Colonial Revival style. Designed by architect Phillip Trammell Shutze of Atlanta, it was based on the Governor's House in Colonial Williamsburg. It has served as the president's house at Furman University since 1994. White Oaks was the second home of Mr. Daniels, who passed away in 1964, and the house remained occupied by his wife, Hozomel Mickel Daniel, until her death in 1992. At that time, the home and all its furnishings were bequeathed to Furman University for use as the president's home. Mrs. Daniel also provided an endowment for the home to support its operations and maintenance. The resource features a two-story central block composed of five evenly distributed bays. The entryway is composed of a brick pediment supported by brick engaged columns. The paired, paneled entry doors are surmounted by a decorative semicircular fanlight. Two arched six-over-six light dormers flank the central decorative pediment. At the second story, a six-over-six double hung sash wood window with an arched header and brick segmental arch lintel occupies each bay. Similar windows occupy all but the central bay on the first story, which is occupied by the entryway. The hipped roof is slate and pierced by a pair of interior brick chimneys on each lateral side. Single dormers pierce the roof of the main block between the chimneys. The roof of the main block also features an octagonal lit cupola with a domed copper roof surrounded by a balustrade at the deck. Symmetrical wings project from the east and west elevations of the building as side gables, before turning north and becoming front gable projections. Like the main block, they feature a slate roof and are pierced by arched six-over-six lit dormers. Two brick interior chimneys are located at the gable ends of each north-south oriented portion of the projecting wings. The second-story windows on these projections are four-over-four wood double hung sash with jack arched lintels, and the windows on the first
story of the projections are six-over-nine double hung sash wood windows. Several additional outbuildings and formal landscaping characterize the remainder of the property. Resource 3241 is recommended eligible for the NRHP under Criterion C as a high style example of Colonial Revival architecture as designed by architect Phillip Trammell Shutze. Resource 3241 is privately owned by Furman University. Please contact the university for additional information.


Figure 5.21 Resource 3241, north elevation.

## Resource 3261, Cherrydale (Furman Alumni Office) Southwest Quadrant of Furman Campus Paris Mountain Quad

Resource 3261 (Figure 5.22), also known as Cherrydale, was submitted by the public for consideration during the architectural survey. Constructed about 1850, it was historically associated with the Furman family and was previously home to the Furman University president. It now houses the university's alumni office. The two-story side-gabled house rises from a brick foundation and is clad in weatherboard siding. It has a projecting front portico with a pedimented gable; the portico is supported by square brick full-height columns and features pilasters along the plane of the façade. The façade features a symmetrical fenestration with central paired paneled doors on the lower level capped by a transom. A paneled door on the second level is set behind a narrow cantilevered balcony and is flanked by sidelights. The first- and second-story side bays each feature a six-over-six double hung sash window flanked by narrow nine-over-nine sidelights to each side. Other architectural features include a seamed metal roof, exterior chimneys at each gable end, and a secondary entry side porch and balcony on the west elevation. The north elevation also features a one-story full-width shed roof wing. The building retains a high degree of architectural integrity. We believe this resource is eligible for listing on the NRHP under Criterion C for architectural merit. Resource 3261 was relocated about three miles from its original location to transition to the new Furman University campus. Although relocation can change the eligibility status of historic properties, Resource 3261 meets qualifications under Criteria Consideration B for moved properties because it of its architectural significance and because its new location is comparable to the original location. Resource 3261 is privately owned by Furman University. Please contact the university for additional information.


Figure 5.22 Resource 3261, northeast elevation.

## Resource 3431, Means House 504 West Marion Road <br> Greenville Quad

Resource 3431, the Means House, (Figure 5.23) is a late-nineteenth-century I-house rising two stories from a brick pier in-filled foundation. The façade contains a porch with a concrete pad floor, wood post supports, and a shed roof covered in raised seam metal. The central front entry door appears to be original, with two vertical fixed lights, and is flanked by original two-over-two double-hung sash windows. Windows along the upper story feature a similar two-over-two configuration. The exterior is clad in original weatherboard and the roof is broken by a decorative front-facing gable with a louvered vent. Raised seam metal covers the lateral roof and two original brick chimneys are present on the gable ends. The house also contains a series of what appear to be historic additions at the rear. The house retains a high degree of architectural integrity and has been subject to few modifications. It is recommended eligible for the NRHP under Criterion C as an intact example of the I-house form in Greenville County. Resource 3431 is private property.


Figure 5.23 Resource 3431, south elevation.

## Resource 3460, Slater Hall 5 Whitney Street Slater Quad

Resource 3460 (Figure 5.24) is a community building known as Slater Hall, which serves the town of Slater. This building was submitted by the public for consideration during the historic resources survey. A plaque to the right of the entry provides context: "This Building Dedicated By H. Nelson Slater To The Welfare of The Employees of the Slater Manufacturing Company 1934." Set on a continuous brick foundation, the building is a three-story massed plan containing a full façade, engaged porch, with paired wood columns giving the appearance of a Greek temple. The central entry has modern double doors and a flat pediment, and it appears the door may have been surmounted by a transom, but this area has been enclosed. Originally, the area above the doors would have likely held transom lights. There are both six-over-six and nine-overnine paired double-hung sash windows. Some of the windows along the second story appear to be original, while others may be replacements. The square porch supports are sheathed in sheet metal, and the building itself has aluminum siding. The roof is sheathed with composition shingles. Other features include two entries on the right side of the building, three entries on the left side, two historic rear additions, one of which has a brick chimney. The hall draws elements of the Neoclassical architectural design, popular during the early twentieth century, as represented by the full façade, colonnaded front porch. The building was constructed for the residents of Slater and continues in that capacity today; it is recommended eligible for the NRHP under Criterion A for its associations with the textile industry in Greenville County. The building also retains good architectural integrity and retains the feeling of an early-twentieth-century community building and is, therefore, also recommended eligible for the NRHP under Criterion C. Resource 3460 is owned by Greenville County and is accessible to the public.


Figure 5.24 Resource 3460, south oblique.

## Resource 3531, Gowensville School 14186 SC 11 <br> Campobello Quad

The Gowensville School (Figure 5.25) dates to 1922 and was historically associated with the adjacent Gowensville Library (Resource 3533) and the Gowensville School Principal's House (Resource 3535). It was actually built by Spartanburg County just inside the Greenville County line to replace an earlier school which burned. This building housed classrooms, and its library and kitchen occupied the adjacent smaller building. This building ceased its historical educational associations in the mid-1950s and is now under the ownership of the non-profit Gowensville Community Association. The building is a wood framed structure rising two stories in height. The symmetrical façade consists of five evenly distributed bays, four of which contain original wood frame six-over-six double-hung sash windows on both the first and second levels. The central bay is comprised of a projecting portico with pedimented gable supported on brick columns and a poured concrete floor. The entry contains a pair of doors, recessed from the front plane of the building. One door appears to be original material, the other a modern replacement. Windows throughout the remainder of the building are original and set in a six-over-six configuration. The exterior is clad in a brick veneer set in a running bond pattern and the hipped roof is covered in a decorative pressed seam metal. Other architectural features include the centrally situated hexagonal bell tower and a rear brick stove flue. Resource 3531 retains excellent architectural integrity. It is recommended eligible for the NRHP under Criterion A for its associations with education in the community of Gowensville and under Criterion C as an example of an early-twentieth-century community school building in Greenville County. Resource 3531 was previously determined eligible by the SCDAH. Resource 3531 is privately owned by the Greater Gowensville Association. Please contact the association for additional information.


Figure 5.25 Resource 3531, southwest oblique.

## Resource 3533, Gowensville School Library and Kitchen 14186 SC11 <br> Campobello Quad

Resource 3533 (Figure 5.26) was historically associated with the adjacent Gowensville School (Resource 3531) and the Gowensville School Principal's House (3535). This building purportedly held the library and kitchen for the school. During the survey, a local resident noted that the library may have been constructed by the CCC or the Works Progress Administration (WPA) during the 1930s. Like the school, this building ceased its historical educational associations in the mid-1950s and is now under the ownership of the nonprofit Gowensville Community Association. It is a small building, rising one story in height from a stone foundation. The façade contains three narrow bays, including the original centrally located door flanked by original wood-framed six-over-six double-hung sash windows. The entry is shielded by a small frontgabled roof supported by wood brackets. The entry consists of a concrete stoop and stone steps. Windows throughout the building, though few, are set in a six-over-six configuration. Other architectural features include brick exterior cladding, a rear porch, a central brick stove flue on the hipped roof, and composition shingles. Resource 3533 retains excellent architectural integrity. It is recommended eligible for the NRHP under Criterion A for its associations with education in the community of Gowensville and under Criterion C as an example of an early twentieth century institutional building. Resource 3533 is privately owned by the Greater Gowensville Association. Please contact the association for additional information.


Figure 5.26 Resource 3533, south elevation.

## Resource 3535, Gowensville School Principal's House

14180 SC11
Campobello Quad
Resource 3535 (Figure 5.27) was the residence for the Gowensville School principal; it was historically associated with resources 3531 and 3533. Constructed during the 1940s, this one-story bungalow is set on a brick pier with fill foundation. The porch consists of brick steps, battered wood columns on brick piers, and a wooden floor. Windows along the façade are paired double-hung sash and set in a three-over-one configuration. The front door appears to be original and contains six fixed lights. The exterior is clad in weatherboard siding and the remaining windows throughout the house are set in a three-over-one configuration. Other architectural features include a gable-on-hip roof with composition shingles, two original brick chimneys, and exposed rafter tails beneath the eaves. The house retains excellent architectural integrity. It is recommended eligible under Criterion A, for its associations with education in the community of Gowensville and under Criterion C as an intact example of an early twentieth century bungalow in Greenville County. Resource 3535 is privately owned by the Greater Gowensville Association. Please contact the association for additional information.


Figure 5.27 Resource 3535, south elevation.

## Resource 3552, Cool Springs Primitive Baptist Church Southwest corner of North Tigerville Road and SC11 Tigerville Quad

Resource 3552 (Figure 5.28) is the historic Cool Springs Primitive Baptist Church. The church established its congregation in 1834 and constructed the historic structure about 1840. This building is associated and on the same property as Resource 3320, the new Cool Springs Primitive Baptist Church, built in 1956. Resource 3552 consists of a simple frame construction featuring minimal architectural detail, which is typical of Primitive Baptist church construction of the period. ${ }^{2}$ The building rises one story in height from a concrete block foundation and has weatherboard siding, wooden replacement six-over-six double-hung sash windows, and a central wooden door. The side-gabled roof is covered in pressed seam sheet metal and contains a central brick stove flue (not-original) at the apex. While the building has been subject to some material changes (windows, foundation material, chimney), it is recommended eligible under Criterion A (historical associations) for its association with the early religious development of Greenville County. It is also recommended eligible under Criterion C (architecture), as an extant example of a particular form of religious architecture. Resource 3552 is private property.


Figure 5.28 Resource 3352, Cool Springs Primitive Baptist Church.

[^21]
## Resource 3565, "Lance Knoll" <br> 1755 Wingo Road <br> Campobello Quad

Constructed about 1850, Resource 3565 (Figure 5.29) is also known as "Lance Knoll" and represents the Italianate style of architecture. Rising two stories from a stone pier foundation, it is clad in original weatherboard siding. The central front portico is elaborated with a great deal of sawnwork, as is the two-story porch on the south elevation. The main central entry door is elaborated with a transom and sidelights, and the millwork throughout the house is very detailed. The central front portico has a porch floor at the second story, and the door accessing that second-story porch is elaborated with a transom and sidelights. The eaves feature decorative brackets that have pendants as well as dentils. The windows are original double-hung sash, set in a six-over-six pane configuration and many retain their original louvered shutters. The house contains three brick chimneys, two at the ridgeline of a rear ell and one in the roof surface of main lateral block; the tops of the two rear chimneys have been reconstructed and are associated with paired fireplaces inside the house. The roof is covered in pressed metal shingle. The house retains excellent architectural integrity and is currently undergoing a sensitive restoration process by the current owners. The property also contains six historic outbuildings and one non-historic outbuilding. Resource 3565 retains a high degree of architectural integrity and is recommended eligible under Criterion $C$ as a representative example of the Italianate style of architecture in Greenville County. Resource 3565 is private property.


Figure 5.29 Resource 3565, northwest oblique.

## Resource 3720, Unidentified Store

NW corner of SC 414 and North Southerlin Road
Tigerville Quad
Resource 3720 (Figure 5.30) is a circa 1910 unidentified store building located in northeastern Greenville County. Set on a stone foundation, it is a one-story frame structure covered in its original weatherboard siding. The façade (southeast elevation) features a recessed entry with original paired wooden doors centrally located along the main block of the building. The doors are surmounted by transom lights. Single windows flank either side of the door and consist of eight fixed lights, although these may have originally been eight-over-eight double-hung sash windows. The porch has a shed roof covered in raised seam metal supported by replacement wooden four-by-four posts. The floor appears to be largely original, or a historic replacement. Other features include a side elevation extension, which appears to be contemporary to the original building, or added shortly after. This extension has a shed roof and a historic wooden door. The building also features a rear garage addition. Raised seam metal covers the front-gable roof of the building as well as the side extension. The building retains a high degree of architectural integrity for a rural country store building and is, therefore, recommended eligible for the NRHP under Criterion C. Resource 3720 is private property.


Figure 5.30 Resource 3720, southeast elevation.

## Resource 3799, River of Life Church

27 2nd Avenue

## Greenville Quad

Resource 3799 (Figure 5.31), constructed in the early twentieth century, currently houses the congregation of the River of Life Church. It was originally the Methodist Church for the surrounding Poe Mill Village. The building is highlighted by a number of architectural elements common with Gothic Revival architecture, though by its estimated date of construction (early twentieth century), the church would be considered to represent more of a Neo-Gothic style. The façade (west elevation) features two entries, one at the base of the corner bell tower, and a second entry at the north corner. Both entries on this elevation contain original paired Gothic arch wooden doors surmounted by a decorative gabled hood with exposed rafter tails and decorative brackets. Other architectural characteristics on the façade include shallow projecting decorative buttresses, Gothic arch windows (double-hung sash operation), and a wheel window in the primary frontfacing gable. The castellated bell tower, located on the southwest corner, features decorative Gothic arched louvered vents, and three Gothic arched openings near the top. Windows along the north elevation are consistent in design with the front; they vary in size based on the interior rooms, but all are wood framed with Gothic arches, operating as double-hung sash sets. The secondary entryway on this elevation features the design and materials as those on the front, including a wood Gothic arched door and decorative gabled hood. Similar design characteristics are present on the south elevation, from the windows, entry door and false buttresses. Resource 3729 retains excellent architectural integrity as a Gothic Revival style church of the early twentieth century. It is recommended eligible for the NRHP under Criterion C. Resource 3799 is private property.


Figure 5.31 Resource 3799, northwest oblique.

### 5.3 District Areas for Further Study

During the field investigations, the survey team identified six districts or areas that should be considered for additional investigation and have the potential to be NRHP-eligible districts. Each of these areas represents Greenville County's role as a center the textile industry in the nineteenth and early twentieth centuries. The survey team recorded representative resources from each of the six areas and identified a rough boundary for each area. These areas should be subjected to more intensive investigations and considered for possible listing on the National Register.

### 5.3.1 Conestee Mill and Village

During the survey, historians recorded 27 resources that were part of the Conestee Mill and Village (Figure 5.32), including five mill buildings, three churches, and 19 houses. Figures $5.33-5.35$ provide sample photos. The Conestee Mill and Village is located on land purchased by Vardry McBee in 1815. McBee operated a variety of enterprises on the Reedy River, including a sawmill, flourmill, ironworks, stone mill, and paper mill. Eventually, McBee constructed a textile mill on site. Originally known as the Reedy River Factory, the Reedy River Manufacturing Company was one of the smaller mills in Greenville County, employing approximately 60 employees. Like other mill owners, McBee provided housing as well as a general store where employees could make purchases on credit. McBee sold the mill in 1862, prior to his death. The Reedy River Manufacturing Company was reorganized in 1909 and renamed Conestee Mills. After a brief closure due to flooding at the turn of the century, the Conestee Mill recovered to the point that it operated over 16,000 spindles and 371 looms by 1913. Just two years later, it had grown to over 20,000 spindles and over 400 looms. The Conestee Mill was purchased by Blackington Mills in 1946. The building stock associated with the Conestee Mill and Village is composed of residential, religious, and industrial buildings. The village also features one NRHP listed property, the McBee Methodist Church, an octagonal brick building designed by Vardry McBee's millwright, John Adams, in 1842.

Conestee Mill was determined eligible for the National Register by the SHPO in 2008 and nominated to the National Register in 2009. The nomination was returned by the National Park Service with questions. The nomination is in the process of being revised to answer the questions and it will be re-submitted before the end of 2013. The resources recorded at the Conestee Mill and Village are privately owned.


Figure 5.32 Map of resources recorded in the Conestee Mill and Village.


Figure 5.33 Resource 3207, Overview of Conestee Mill, facing northwest.


Figure 5.34 Resource 3893, Conestee Mill community store and post office, west oblique.


Figure 5.35 Resource 3899, Conestee dam, facing north.

### 5.3.2 Fork Shoals Community

During the survey, historians recorded 21 resources within the community of Fork Shoals (Figure 5.36). Fork Shoals is in the vicinity of the McKelvey Road, Berry/Cedar Falls Road intersection, and includes much of the surrounding countryside. The area now known as Fork Shoals was first settled by Europeans after the Treaty of DeWitt's Corner in 1777. At that time, newly opened lands were given to soldiers in the Continental Army in exchange for their service. Many of the bounty lands located in the Fork Shoals area were settled as early as the 1780 s. Fork Shoals Baptist Church, founded from 1777-1780, provided a religious center for the agrarian community that settled in the Fork Shoals area. These farmers grew cotton, wheat, corn, and oats, while others raised livestock. In 1820, Shubal Arnold constructed a dam and mill at Cedar Falls on the Reedy River. His mill eventually became the possession of Hudson Berry and his sons, who operated the mill until 1852. In addition to Arnold's mill, Berry and his sons operated a general store, water-powered grist mill, sawmill, and cotton gin. An additional yarn and cloth mill was later built at Fork Shoals by the Sullivan Manufacturing Company in 1870. By 1882, the "Fork Shoals Mill" (as Sullivan's mill had come to be known) employed approximately 65 employees. Around 1910, a larger dam was built across the Reedy River in order to generate electrical power for the Fork Shoals Mill and surrounding community. By the time the Fork Shoals Mill ceased production in 1978, it had 200 employees. Unlike other mill villages in Greenville County, Fork Shoals' economy was not solely dependent upon mill operations. The variety of mill and agricultural operations enabled a number of churches, schools, and other community organizations to flourish in Fork Shoals. Within the community of Fork Shoals, the building stock consists of a variety of domestic, religious, and commercial structures. Of the resources surveyed, there were two churches, one mill, one school, one factory/warehouse, 15 houses, and two dams. Sample photographs are provided in Figures 5.37-5.39. The resources recorded in the Fork Shoals Community are all private property.


Figure 5.36 Map of resources recorded in Fork Shoals.


Figure 5.37 Resource 2962, a typical Fork Shoals mill house, southwest elevation.


Figure 5.38 Resource 2970, a house in the Fork Shoals community, east oblique.


Figure 5.39 Resource 2976, Fork Shoals Baptist Church, southeast elevation.

### 5.3.3 Piedmont Mill Village

During the survey, historians recorded 22 resources that were part of the Piedmont Mill Village (Figure 5.40), including six commercial buildings, one institutional building, one religious building, 12 residential buildings, one historic water tower, and a collection of town commemorative monuments. Sample photographs are provided in Figures 5.41-5.43. The Piedmont Mill and surrounding village spans the Saluda River, southeast of the city of Greenville. On the Greenville County side of the Saluda River, the mill and village is roughly bounded by Piedmont Highway (Highway 20) on the east, Lee Street to the north, and Langston Street to the south. The Piedmont Manufacturing Company was founded by Henry P. Hammett, who purchased over 500 acres along the Saluda River in an area known as Garrison Shoals in the 1860s to establish a mill. By 1874, Hammett had begun construction of a dam spanning the Saluda, and by early 1876, construction of the mill had been completed. The Piedmont Manufacturing Company constructed a thriving mill village in addition to the mill properties. In addition to housing, the Piedmont Manufacturing Company constructed a variety of other community buildings, including a two-story schoolhouse, a Union Church, and a hotel. In 1882, the Piedmont Mill was the largest of seven textile mills located in Greenville County, with 550 employees. At that time, the village boasted a population of 1,150. By 1892, 3,000 people were living in the village, with 1,300 of these inhabitants employed in the mill. The Piedmont Mill was ultimately purchased by the J.P. Stevens Corporation in 1946; by 1977, the original mill structure was no longer used for textile manufacturing, and additional mill structures were heavily altered. A devastating fire in the fall of 1983 left the original mill building in ruins. The extant resources associated with the Piedmont Mill and Village are a mix of commercial, institutional, residential, civic, and religious buildings. The preponderance of the oldest residential resources associated with the Piedmont Mill are on the Anderson County side of the Saluda River, and any additional investigations of this area should therefore be a collaborative effort between Greenville and Anderson counties. All of the resources recorded in the Piedmont Mill Village except for the town historical monuments (Resource 3507) are private property.


Figure 5.40 Map of resources recorded in the Piedmont Mill Village.


Figure 5.41 Resource 3269, a commercial building in the Piedmont Mill Village, south oblique.


Figure 5.42 Resource 3279, an institutional building in the Piedmont Mill Village, south elevation.


Figure 5.43 Resource 3283, a typical mill house in the Piedmont Mill Village, south elevation.

### 5.3.4 Renfrew Bleachery Community

During the survey, historians recorded six resources within the Renfrew Bleachery Community (Figure 5.44). Located approximately two miles northwest of Travelers Rest, the Renfrew Bleachery is roughly bounded by Geer Highway (US 276) to the northeast, New Circle Road to the Northwest, and Church and School streets to the southeast. The Renfrew Bleachery was constructed in 1928, after the organization of the Brandon Corporation. In addition to the bleachery, the Brandon Corporation consolidated and operated four additional mills throughout the upstate. The bleachery began operation in 1928 with 200employees, and production began in January of the following year. The Renfrew Bleachery continued to operate throughout World War II, dyeing and finishing military fabrics. The bleachery also partnered with the DuPont Company in the 1940s to create innovative new textile systems, including continuous dyeing and continuous finishing units. Like other mills, the Renfrew Bleachery also participated in the Piedmont Textile League, an inter-mill baseball league. Fielding the Renfrew Riflers, the bleachery's baseball fields were located within the community, between Geer Highway and School Street. Renfrew Bleachery changed ownership many times after 1947 before eventually closing in 1988. Within the village, the building stock is composed of commercial, domestic, and religious buildings constructed between the late 1920s and the 1940s. Sample photographs are provided in Figures 5.45-5.47. All of the resources recorded in the Renfrew Bleachery Community are private property.


Figure 5.44 Map of resources recorded in the Renfrew Bleachery Community.


Figure 5.45 Resource 3225, the Renfrew Bleachery office, southeast elevation.


Figure 5.46 Resource 3231, a typical house in the Renfrew Bleachery Community, southeast oblique.


Figure 5.47 Resource 3235, a typical house in the Renfrew Bleachery Community, southwest elevation.

### 5.3.5 Slater Community

During the survey, historians recorded 29 resources within the community of Slater (Figure 5.48). Slater is in the vicinity of the Slater Mill itself, on Slater Road; north to Talley Bridge Road; with Whitney Street and Greer Highway as the east and west boundaries respectively. According to websites managed by the Slater Hall Citizens' Committee and JPS Glass, H.N. Slater bought 466 acres in 1927 in order to construct a textile mill and accompanying village. In addition to the mill, Slater constructed a post office, administrative building, fire department, barber shop, general store, community hall, and residential houses, all of which were constructed circa 1927. H.N. Slater was related to Samuel Slater, an Englishman who is credited with developing America's first mechanized cotton factory in 1790. Samuel Slater's early cotton factory was located in Pawtucket, Rhode Island, and operated water-powered machines. When H.N. Slater laid the cornerstone of his new South Carolina plant on October 15, 1927, he paid tribute to the history of his family's company by having the year 1790 inlayed over the Slater name on the mill's smokestack. There is also a stone from the original Pawtucket factory set in the wall of the administrative building. Throughout the years, the Slater Mill has produced rayon, acetate, fiberglass, and synthetic fabrics. The mill claims a rich history, including a role in producing the fabric used for the Apollo 11 spacesuits. The Slater Mill is still in operation and continues to employ many people from the surrounding area. Within the community of Slater, the building stock consists of a variety of domestic, religious, and commercial buildings. The 29 resources recorded in the community of Slater included the mill, an administrative building, a commerce/municipal building, a community hall (see Figure 5.25, Slater Hall), a school, 3 churches, and 21 houses. Sample photographs are provided in Figures 5.49-5.51. All of the resources recorded in the Slater Community except for Slater Hall (Resource 3460) are privately owned.


Figure 5.48 Map of resources recorded in the Slater Community.


Figure 5.49 Resource 3422, Slater United Methodist Church, west elevation.


Figure 5.50 Resource 3476, a typical house in the Slater Mill Village, southwest elevation.


Figure 5.51 Resource 3492, a typical house in the Slater Mill Village, southeast elevation.

### 5.3.6 Union Bleachery Community

During the survey, historians recorded six resources within the Union Bleachery Community (Figure 5.52). The Union Bleachery is roughly bounded by Old Buncombe Road to the north, West Blue Ridge Drive to the east, Brooks Avenue to the west, and the Greenville Health System and Swamp Rabbit Trail to the south. The Union Bleachery and Finishing Company formed in 1902, and construction was completed on a finishing mill approximately three miles north of the city of Greenville by 1903. Financed by Benjamin N. Duke and James B. Duke of North Carolina, the Union Bleachery was Greenville's first finishing plant. Union Bleachery enabled vast quantities of "grey" or unfinished goods that were produced in surrounding mills to be bleached, dyed, and finished in Greenville County, rather than shipped to Northern mills for finishing. By the conclusion of World War I, the Union Bleachery began expanding its operations. In 1947, the expanded facility was sold to the Aspinook Corporation and by 1957 was once again sold to the Cone Mills Corporation. The mill continued to operate under the name Union Bleachery until 1984, when American Fast Print, Ltd. purchased the facility and operated under the name US Finishing. In 2003, a devastating fire partially destroyed the main plant, and the facility was closed. The abandoned mill site was designated a Superfund site by the US Environmental Protection Agency in 2011, and portions of the remaining mill structures were demolished during the removal of hazardous waste. Within the extant portion of the village, the building stock consists of domestic and religious buildings constructed in the early twentieth century. Sample photographs are provided in Figures 5.53-5.55. All of the resources recorded in the Union Bleachery Community are private property.


Figure 5.52 Map of resources recorded in the Union Bleachery Community.


Figure 5.53 Resource 3245, a typical house in the Union Bleachery Community, northeast elevation.


Figure 5.54 Resource 3251, example of a house in the Union Bleachery Community, northwest elevation.


Figure 5.55 Resource 3253, Union Bleachery Baptist Church, southeast elevation.

### 5.4 Recommendations for Future Consideration

### 5.4.1 Threats to Greenville County's Historic Resources

When considering dangers to the historic character of a neighborhood or area, three basic threats must be considered. The most obvious is demolition of existing historic architectural resources. Destruction of historic buildings or their removal from an area harms the historic character of a community and is detrimental to its overall sense of place and identity. The second threat is construction of new buildings that are visually incompatible with existing resources. These intrusions stand out in stark contrast to the historic character of the streets on which they are built and do harm to a community's sense of place. The third threat comes from historically inappropriate alterations and additions to historic architectural resources. Although they are often small and incremental, changes such as conspicuous additions or replacement of historic building fabric will eventually obscure a building's historic qualities to the extent that it is almost unrecognizable as a historic resource. This loss of an individual building's character is also detrimental to the overall historic character of a community.

The burgeoning population and associated development of the Upstate pose a threat to historic resources throughout Greenville County, though this threat is most pronounced in the center of the county. The economic growth being experienced by Greenville, Mauldin, Pelham and Greer along the I-85 and I-385 corridors is of particular concern in terms of its potential impact on historic resources. The development pressure associated with such growth can lead to the razing of historic buildings as well as the construction of new buildings that are visually incompatible with the existing character of the built environment. We recommend that Greenville County pay particular attention to the historic resources in these central areas that are facing more significant development pressures, although areas in the northern and southern parts of the county should not be neglected.

### 5.4.2 Areas That May Be Eligible in the Future

In this report, we identified resources as eligible that possess the quality of significance in terms of architecture or historical association and retain sufficient integrity to convey this significance. Some resources in the survey universe have the potential to be eligible in the future, but they were not identified as eligible during the survey because they had been adversely affected by alterations to their character-defining features or had not reached a sufficient age to be eligible for listing on the National Register. Although they may not have been deemed eligible at the time of this survey, these resources may be eligible in the future. For instance, many alterations to a historic resource that have obscured or damaged its integrity can be reversed. Enclosed porches can be opened, synthetic siding can be removed, and buildings can be otherwise sensitively rehabilitated to restore their integrity. The passage of time can also have an effect on the eligibility of an individual resource or neighborhood.

An area that currently lacks sufficient historic character to be considered eligible could become eligible in the future simply because of its age. This can be a function of a growing appreciation for the resource type that develops over time, or it can be a function of its increasing rarity as similar resources lose their integrity or are demolished. The preponderance of resources in the survey universe was built later in the twentieth century, and although they are not eligible, their significance is likely to increase over time.

### 5.4.3 Areas That May Warrant Protection or Special Attention

The 20 individual resources identified as eligible and the six areas identified as potential districts warrant protection and special attention. The integrity of much of the historic building stock in Greenville County has been compromised with incompatible additions or alterations that resulted in a loss of integrity. These resources are valuable physical records of the past, and they should be protected wherever possible.

### 5.5 Recommendations for Preservation Planning and Public Education

### 5.5.1 Recommendations for Preservation Planning

Greenville County has a rich history, and the county has made preserving its historic resources a priority. After completing the survey in Greenville County, Brockington and Associates, Inc., recommends that the county undertake the following general activities to continue its preservation efforts.

## Invest in Training:

- Invest in preservation training for county staff dedicated to preservation work
- Invest in ongoing preservation training for the Greenville County Historic Preservation Commission


## Enhance Public Understanding:

- Provide guidance to Greenville County citizens on federal and local historic preservation tax incentives for sensitive rehabilitation of historic resources
- Meet with community organizations on the uses of historic preservation in community planning
- Deliver written and oral presentations to professionals and lay organizations on historic preservation and the work of the Historic Preservation Commission


## Encourage Economic Development:

- Promote rehabilitation of historic properties, which is a labor intensive (rather than materials intensive) activity that creates well-paying jobs
- Promote heritage tourism to Greenville County through programs such as the National Register's Online Travel Itinerary, which creates self-guided tours to historic places listed on the NRHP, based on text and photographs supplied by the county (see Charleston's tour at http://www.cr.nps.gov/nr/travel/charleston).


### 5.5.2 Recommendations for Public Education

There are countless ways to present history to the public; below are some suggestions that focus on the county's historic resources and public accessibility to historical information.

## Architectural History Publication

Greenville County's historic architecture conveys the story of the county's development and contributes to its aesthetic value and unique sense of place. The ongoing public and private efforts to preserve Greenville County's historic built environment could be enhanced by a public history book that chronicles the county's architectural history, complete with historic and contemporary photographs of its historic resources.

## Electronic Availability of Historical Resources

In our electronic age, the Internet is the first place many people look when they begin a search for information. The county could create an online portal for history documents where it can publish electronic versions of National Register nominations for Greenville County resources, as well as other narrative histories, historic contexts, maps, and historic photographs.

## Historic Markers and Plaques

Historical markers and plaques are a simple way to recognize and raise awareness of locally important historic resources. An inventory of existing markers would be a good foundation for determining what sites to mark in the future.

### 5.6 Survey Summary and Recommendations

### 5.6.1 Initial Preservation Actions

During the course of the historic architectural survey of Greenville County, we identified 1,100 historic architectural resources, of which 20 are considered eligible for the NRHP. We also identified six districts that should be subjected to further investigation because they are likely eligible for listing on the National Register. Brockington and Associates, Inc., recommends that the county take steps to preserve these eligible resources by making the property owners aware of (1) the historic value of their property, (2) ways they can protect the integrity of their property, and (3) the tax incentives that are available for sensitive rehabilitations.

### 5.6.2 Recommendations for Future Survey Efforts

After completing the survey effort in Greenville County, Brockington and Associates, Inc., recommends that any future survey be a targeted effort rather than a more general effort to record a set number of resources. The integrity of much of Greenville County's historic building stock has been compromised to the extent that future generalized survey efforts may not result in the recordation of resources that retain sufficient integrity to be included in South Carolina's Statewide Survey database. A survey effort that targets the following types of resources is probably the best use of county funds for preservation.

## Previously Recorded and NHRP-Listed Resources

Brockington and Associates, Inc., recommends gathering updated information on these resources including whether or not they are extant, ground-truthing their correct location in the state's database, their condition, and potential threats.

## Publicly Submitted Resources Not Recorded During this Survey Effort

As evidenced by their participation in the initial public meeting and subsequent response sheets, Greenville County residents are very interested in their historic resources. Brockington and Associates, Inc., made every effort to consider those resources submitted by the public during the field survey. Some of the submissions did not contain sufficient information to locate them in the field. Other resources did not meet the survey criteria. Also, some of the public submissions for this survey effort were submitted after the deadline of March 29, 2013 and could not be included during the field effort. A list of all submissions will be provided as part of the administrative record for the project, and Brockington and Associates, Inc., recommends that any submissions not surveyed as part of this project be considered for future survey efforts. This readily available information will assist the county in conducting targeted survey projects in the future.

## Geographic Areas Not Included in this Survey Effort

Brockington and Associates, Inc., made an effort during this phase of the survey to ensure that the resources we recorded are a representative sample of unincorporated Greenville County's historic building stock in both type and geographic distribution. Resources were recorded on each of the 25 USGS topographical quadrangle maps. Digital scans of the field maps for this project will be included in the administrative record so that future surveyors can determine which areas have been surveyed and which areas may have potential for future investigations.

## Incorporated Areas of Greenville County

This phase of the Survey of Historic Resources in Greenville County, South Carolina, focused on unincorporated areas of the county, but a truly comprehensive countywide survey will need to include an investigation of incorporated areas. Brockington and Associates, Inc., recommends that a reconnaissance survey of these incorporated areas be conducted before embarking on an intensive survey effort to provide a better understanding of the scope of the intensive survey and the state of the building stock in those areas.

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## Appendix A <br> Compiled Inventory

| QUAD | SITE NO. | HISTORIC NAME | ADDRESS/ LOCATION | VICINITY OF | DATE | SHPO EVALUATION |
| :---: | :---: | :---: | :---: | :---: | :---: | :---: |
| Belton East | 2835 | Holliday's Bridge Hydro Station | N. side of Saluda River at intersection of Holliday Dam Rd. \& Dry Oak | Princeton | Circa 1907 | Eligible |
| Belton East | 2836 | Holliday Dam | Saluda River just N. of Holliday Dam Rd. | Princeton | Circa 1906 | Eligible |
| Belton East | 2840 | Unidentified House | Acker Rd., $1 / 2$ mile E of Cooley Bridge Rd. | Princeton | Circa 1920s | Not Eligible |
| Belton East | 2841 | Unidentified House | Acker Rd., across from 500 Acker Rd. | Princeton | Circa 1880s | Not Eligible |
| Belton East | 2842 | Unidentified House | 1818 Holliday Dam Rd. | Princeton | Circa 1920s | Not Eligible |
| Belton East | 2843 | Unidentified House | 1313 Cooley bridge Rd./Hwy 247 | Princeton | Circa 1940s | Not Eligible |
| Belton East | 2844 | Unidentified House | Cooley Bridge Rd., just S of 1110 Cooley Bridge Rd./Hwy 247 | Princeton | Circa 1900 | Not Eligible |
| Belton East | 2845 | Cox Family House | 1110 Cooley Bridge Rd./Hwy 247 | Princeton | Circa 1900 | Not Eligible |
| Belton East | 2865 | Unidentified Service Station | Cooley Bridge Rd./Hwy 247, approx. 1/2 mile N of Cedar Springs Church | Princeton | Circa 1940s | Not Eligible |
| Belton East | 2866 | Cedar Shoals Baptist Church | 1045 Cooley Bridge Rd./Hwy 247 | Princeton | Circa 1950s | Not Eligible |
| Belton East | 2867 | Unidentified House | 1022 Cooley Bridge Rd./Hwy 247 | Princeton | Circa 1930s | Not Eligible |
| Belton East | 2868 | Unidentified House | 930 Cooley Bridge Rd./Hwy 247 | Princeton | Circa 1940 | Not Eligible |
| Belton East | 2869 | Unidentified House | 925 Cooley Bridge Rd./Hwy 247 | Princeton | Circa 1920 | Not Eligible |
| Belton East | 2870 | Unidentified House | 914 Cooley Bridge Rd./Hwy 247 | Princeton | Circa 1930s | Not Eligible |
| Belton East | 2871 | Unidentified School | 903 Cooley Bridge Rd./Hwy 247 | Princeton | circa 1920s | Not Eligible |
| Belton East | 2872 | M.C. Woodson's | Intersection of Beech Springs Rd. and Cooley Bridge Rd./Hwy 247 | Princeton | Circa 1920s | Not Eligible |
| Belton East | 2873 | Unidentified House | 2128 Holliday Dam Rd. | Princeton | circa 1890's | Not Eligible |
| Belton East | 2874 | Unidentified House | 114 Chapman Dr. | Pelzer | circa 1900 | Not Eligible |
| Belton East | 2875 | Unidentified House | 1946 Holliday Dam Rd. | Pelzer | Circa 1940s | Not Eligible |
| Belton East | 2876 | Unidentified House | 933 Holliday Dam Rd. | Pelzer | Circa 1940s | Not Eligible |
| Belton East | 2877 | Beech Springs Pentecostal Church | 103 Beech Springs Rd. | Pelzer | 1941 | Not Eligible |
| Belton East | 2878 | Unidentified House | 156 Williams Rd. | Pelzer | Circa 1880s | Not Eligible |
| Belton East | 2879 | Unidentified House | W side of Williams Rd., approx. 1/4 mile NW of 156 Williams Rd. | Pelzer | circa 1890s | Not Eligible |
| Belton East | 2880 | Unidentified House | E side of Williams Rd., approx. $1 / 2$ mile N of 156 Williams Rd. | Pelzer | Circa 1900 | Not Eligible |
| Belton East | 2881 | Unidentified House | 143 Williams Rd. | Pelzer | Circa 1940s | Not Eligible |
| Belton East | 2884 | Ellis T Stone Estate | 9569 Augusta Rd./Hwy 25 | Ware Place | Circa 1880s | Eligible |
| Belton East | 2885 | Unidentified House | 9599 Augusta Rd./Hwy 25 | Ware Place | Circa 1920s | Not Eligible |
| Belton East | 2886 | Josiah Chandler House | 9601 Augusta Rd./Hwy 25 | Ware Place | Circa 1840s | Not Eligible |
| Belton East | 2887 | Stoddard House | 9624 Augusta Rd./Hwy 25 | Ware Place | Circa 1890 | Not Eligible |
| Belton East | 2888 | Unidentified House | 541 Cooley Bridge Rd./Hwy 247 | Ware Place | Circa 1940s | Not Eligible |
| Belton East | 2889 | Unidentified House | Cooley Bridge Rd./Hwy 247 | Ware Place | Circa 1940s | Not Eligible |
| Belton East | 2934 | Unidentified House | 157 Finley Rd. | Fork Shoals | Circa 1920 | Not Eligible |
| Campobello | 3347 | Unidentified House | 3590 Ballenger Road | Greer | Circa 1890s | Not Eligible |
| Campobello | 3349 | Unidentified House | 3701 Jug Factory Road | Greer | Circa 1930s | Not Eligible |
| Campobello | 3351 | Unidentified House | 3711 Jug Factory Road | Greer | Circa 1910 | Not Eligible |
| Campobello | 3353 | Unidentified House | 3838 Jordan Road | Greer | Circa 1930s | Not Eligible |
| Campobello | 3355 | Unidentified House | 3860 Line Road | Greer | Circa 1930s | Not Eligible |
| Campobello | 3357 | Unidentified House | 3929 Line Road | Greer | Circa 1940s | Not Eligible |
| Campobello | 3359 | Unidentified House | 3811 Jug Factory Rd | Greer | Circa 1930s | Not Eligible |
| Campobello | 3361 | Unidentified House | 3945 Jordan Road | Greer | Circa 1940s | Not Eligible |
| Campobello | 3363 | Unidentified House | 4023 Jordan Road | Greer | Circa 1915 | Not Eligible |
| Campobello | 3365 | Unidentified House | 4039 Jordan Road | Greer | Circa 1940s | Not Eligible |
| Campobello | 3367 | Unidentified House | 4056 Jordan Road | Greer | Circa 1900 | Not Eligible |
| Campobello | 3369 | Unidentified House | 4063 Jordan Road | Greer | Circa 1900 | Not Eligible |
| Campobello | 3373 | Unidentified House | 703 Mount Lebanon Church Rd | Jordan | Circa 1950s | Not Eligible |
| Campobello | 3375 | Unidentified House | 4154 Jordan Road | Jordan | Circa 1940s | Not Eligible |
| Campobello | 3377 | Unidentified House | 4174 Jordan Road | Jordan | Circa 1915 | Not Eligible |
| Campobello | 3379 | Unidentified House | 4181 Jordan Road | Jordan | Circa 1940 | Not Eligible |


| QUAD | SITE NO. | HISTORIC NAME | ADDRESS/ LOCATION | VICINITY OF | DATE | SHPO EVALUATION |
| :---: | :---: | :---: | :---: | :---: | :---: | :---: |
| Campobello | 3381 | Unidentified House | 431 Barnett Road | Jordan | Circa 1920s | Not Eligible |
| Campobello | 3383 | Unidentified House | 4491 Babb Road | Jordan | Circa 1915 | Not Eligible |
| Campobello | 3385 | Unidentified House | 4608 Jug Factory Road | Jordan | Circa 1890s | Not Eligible |
| Campobello | 3387 | Unidentified House | 4601 Jug Factory Road | Jordan | Circa 1930s | Not Eligible |
| Campobello | 3389 | Unidentified House | 4594 Jug Factory Road | Greer | Circa 1940s | Not Eligible |
| Campobello | 3391 | Unidentified House | 31688 Jug Factory Road | Jordan | Circa 1930s | Not Eligible |
| Campobello | 3393 | Unidentified House | 32711 Barnett Road | Jordan | Circa 1930s | Not Eligible |
| Campobello | 3395 | Unidentified House | 4655 Cockrell Road | Greer | Circa 1930s | Not Eligible |
| Campobello | 3397 | Unidentified House | 4736 Cockrell Road | Greer | Circa 1940s | Not Eligible |
| Campobello | 3399 | Unidentified House | 4829 Highway 14 | Greer | Circa 1930s | Not Eligible |
| Campobello | 3523 | Unidentified House | 1511 Gowensville Church Road | Gowensville | M to L 19th Cen | Not Eligible |
| Campobello | 3525 | Unidentified House | 234 Solesbee Road | Gowensville | 1912 | Not Eligible |
| Campobello | 3527 | First Baptist Church of Gowensville | 5652 Highway 14 | Gowensville | Late 19th Cent | Not Eligible |
| Campobello | 3529 | Unidentified Commercial Building | 5600 Highway 14 | Gowensville | c. 1940 | Not Eligible |
| Campobello | 3531 | Historic Gowensville School | 14186 Highway 11 | Gowensville | 1922 | Eligible |
| Campobello | 3533 | Gowensville Public Library | 14186 Highway 11 | Gowensville | c. 1930s | Eligible |
| Campobello | 3535 | Gowensville School Principal's House | 14180 Highway 11 | Gowensville | c. 1940 | Eligible |
| Campobello | 3537 | Unidentified House | 14075 Highway 11 | Gowensville | c. 1880 | Not Eligible |
| Campobello | 3539 | Caldwell Home | 14050 Highway 11 | Gowensville | c. 1870 | Not Eligible |
| Campobello | 3541 | Unidentified House | 108 Highway 11 | Gowensville | c. 1940 | Not Eligible |
| Campobello | 3543 | Unidentified House | 298 Highway 11 | Gowensville | c. 1940 | Not Eligible |
| Campobello | 3545 | Unidentified House | 107 Highway 11 | Gowensville | c. 1930 | Not Eligible |
| Campobello | 3547 | Unidentified House | 5589 Highway 14 | Gowensville | Late 19th Cent | Not Eligible |
| Campobello | 3553 | Unidentified House | 5468 Highway 14 | Gowensville | c. 1945 | Not Eligible |
| Campobello | 3555 | Unidentified House | 5362 Highway 14 | Gowensville | Late 19th Cent | Not Eligible |
| Campobello | 3557 | Unidentified House | 109 Smith Road | Gowensville | c. 1940 | Not Eligible |
| Campobello | 3559 | Unidentified House | 301 Smith Road | Gowensville | c. 1945 | Not Eligible |
| Campobello | 3561 | Unidentified House | 1580 Wingo Road | Gowensville | c. 1860 | Not Eligible |
| Campobello | 3563 | Unidentified House | Turner Barton Road | Gowensville | Mid 19th Cent | Not Eligible |
| Campobello | 3565 | Lance Knoll | 1755 Wingo Road | Gowensville | 1853 | Eligible |
| Campobello | 3567 | Unidentified House | 108 N Reid Road | Gowensville | c. 1880 | Not Eligible |
| Cleveland | 2862 | Unidentified House | E side of 276/ Geer Highway between Midway Road and Ellen St | Marietta | c. 1930 | Eligible |
| Cleveland | 2949 | Unidentified House | 901 Slater Road | Marietta | c. 1940 | Not Eligible |
| Cleveland | 3033 | Unidentified Commercial Building | 2824 Highway 276 | Marietta | c. 1900 | Not Eligible |
| Cleveland | 3057 | Marietta Feed and Seed | 2822-2830 Highway 276 | Marietta | c. 1900 | Not Eligible |
| Cleveland | 3067 | Unidentified House | 2825 Highway 276 | Marietta | c. 1900 | Not Eligible |
| Cleveland | 3073 | Unidentified House | 106 Pumpkintown Road | Marietta | c. 1900 | Not Eligible |
| Cleveland | 3087 | Unidentified House | 102 Highway 276 | Marietta | c. 1920 | Not Eligible |
| Cleveland | 3089 | Unidentified House | 2933 Geer Highway / Highway 276 | Marietta | c. 1950 | Not Eligible |
| Cleveland | 3094 | Unidentified Commercial Building | NE Corner Geer Highway and Elliott St | Marietta | c. 1940 | Not Eligible |
| Cleveland | 3096 | Bob Horton Insurance and Bob Horton Auto Sales | 202 Eliott St | Marietta | c. 1950 | Not Eligible |
| Cleveland | 3103 | Unidentified House | 3255 Geer Highway | Marietta | c. 1930 ${ }^{\text {¢ }}$ | Not Eligible |
| Cleveland | 3117 | Unidentified House | 3103 Geer Highway | Marietta | c. 1940 | Not Eligible |
| Cleveland | 3155 | Unidentified Commercial Building | 3019 Geer Highway | Marietta | 1940s | Not Eligible |
| Cleveland | 3181 | Unidentified House | 3015 Geer Highway | Marietta | c. 1940 | Not Eligible |
| Cleveland | 3285 | Unidentified House | 107 McCarson Road | River Falls | Circa 1940 | Not Eligible |
| Cleveland | 3287 | Unidentified House | N side McCarson Road, approximately . 5 miles east of Riverview Road | Cleveland | c. 1940 | Not Eligible |


| QUAD | SITE NO. | HISTORIC NAME | ADDRESS/ LOCATION | VICINITY OF | DATE | SHPO EVALUATION |
| :---: | :---: | :---: | :---: | :---: | :---: | :---: |
| Cleveland | 3289 | Unidentified Rural Commercial Building | S side of Geer Hwy (276), approx. 2.7 miles northwest of intersection of 276 and SC-11 in Cleveland | Cleveland | Early 20th Cent | Not Eligible |
| Cleveland | 3291 | Gray Gables | S side of Pumpkintown Road, approx. . 2 miles west of Pace Bridge Road | Marietta | 1908-1912 | Not Eligible |
| Cleveland | 3293 | Allison School | S side of Pumpkintown Road, approx. . 2 miles west of Pace Bridge Road | Marietta | Early 20th Cent | Not Eligible |
| Cleveland | 3339 | Unidentified House | 101 Jones Gap Road | Marietta | Circa 1940s | Not Eligible |
| Cleveland | 3345 | Unidentified House | S side of Upper Oil Camp, road is on south side of Geer Hwy (276) | Marietta | Circa 1840s | Not Eligible |
| Cleveland | 3911 | River Falls Lodge | 100 River Falls Lodge Road | Marietta | c. 1940 | Not Eligible |
| Dacusville | 3098 | Unidentified House | 270 Dacusville Road | Marietta | Check | Not Eligible |
| Dacusville | 3401 | Unidentified House | 12 Frank Brown Road | Travelers Rest | 1904 | Not Eligible |
| Dacusville | 3909 | Travelers Rest Church of the Brethren | 2 Silvers Road off Keeler Mill Road | Travelers Rest | c. 1940 | Not Eligible |
| Fork Shoals | 2817 | Unidentified House | South of Hwy 76, approx. 1/8 mile west of intersection with Hwy 25 | Princeton | circa 1920s | Not Eligible |
| Fork Shoals | 2818 | Unidentified House | East corner of Augusta Rd./Hwy 25 and Scott Rd. | Princeton | circa 1950s | Not Eligible |
| Fork Shoals | 2819 | Unidentified House | East corner of Augusta Rd./Hwy 25 and Scott Rd. | Princeton | circa 1940s | Not Eligible |
| Fork Shoals | 2820 | Unidentified House | 107 Latimer Rd. | Princeton | circa 1940s | Not Eligible |
| Fork Shoals | 2821 | Unidentified House | 133 Latimer Rd. | Princeton | circa 1900 | Not Eligible |
| Fork Shoals | 2822 | Unidentified House | N side of Latimer Rd, approx. BLANK of 161 Latimer Rd. | Princeton | circa 1920s | Not Eligible |
| Fork Shoals | 2823 | Unidentified House | 104 Traynham Rd. | Princeton | circa 1890s | Not Eligible |
| Fork Shoals | 2824 | Unidentified House | Traynham Rd., approx. 1/2 mile NW of Latimore Rd. | Princeton | Circa 1920s | Not Eligible |
| Fork Shoals | 2825 | Unidentified House | 202 Flatrock Rd. | Princeton | Circa 1880s | Not Eligible |
| Fork Shoals | 2826 | Unidentified House | N. side of Ross Rd., approx. 1 mile E of Scott Rd. | Princeton | Circa 1880s | Not Eligible |
| Fork Shoals | 2827 | Unidentified House | 305 Scott Rd. | Princeton | Circa 1890 | Not Eligible |
| Fork Shoals | 2828 | Unidentified House | 486 Scott Rd. Ext. | Princeton | Circa 1900 | Not Eligible |
| Fork Shoals | 2829 | Unidentified House | 11767 Augusta Rd./Hwy 25 | Princeton | Circa 1890s | Not Eligible |
| Fork Shoals | 2831 | Unidentified House | 801 Princeton Hwy | Princeton | circa 1880s | Not Eligible |
| Fork Shoals | 2832 | French House | 801 Princeton Hwy | Princeton | Circa 1890s | Not Eligible |
| Fork Shoals | 2833 | Possum Kingdom Barn | NW of intersection of McCullough School Rd. and Holliday Dam Rd. | Princeton | Circa 1930s | Not Eligible |
| Fork Shoals | 2834 | Holliday House | 1125 Holliday Dam Rd. | Princeton | Circa 1886 | Not Eligible |
| Fork Shoals | 2837 | McCullough School | N. side of McCullough School Rd.; $1 / 2$ west of French Rd. | Princeton | Circa 1910 | Not Eligible |
| Fork Shoals | 2838 | Unidentified House | 151 French Rd. | Princeton | Circa 1890 | Not Eligible |
| Fork Shoals | 2839 | Riverside Baptist Church | 1339 Holliday Dam Rd. | Princeton | 1952 | Not Eligible |
| Fork Shoals | 2846 | Unidentified House | N. side of Addyson Ave., approx. 1/4 mile W of Augusta Rd/Hwy 25 | Princeton | circa 1890s | Not Eligible |
| Fork Shoals | 2847 | Columbia Baptist Church | East side of Augusta Road/Hwy 25 north of Scott Rd. | Princeton | circa 1950s | Not Eligible |
| Fork Shoals | 2848 | Unidentified House | West side of Augusta Rd/Hwy 25 north of Scott Rd. | Princeton | circa 1890s | Eligible |
| Fork Shoals | 2850 | Unidentified House | 3010 Augusta Rd/Hwy 25 | Princeton | circa 1890s | Not Eligible |
| Fork Shoals | 2851 | Unidentified House | Oak Hill Rd, approx. 1/4 mile east of McCullough School Rd. | Princeton | circa 1920s | Not Eligible |
| Fork Shoals | 2852 | Unidentified House | 10960 Augusta Rd/Hwy 25 | Princeton | Circa 1890s | Not Eligible |
| Fork Shoals | 2853 | Unidentified House | 690 Traynham Rd. | Princeton | Circa 1920s | Not Eligible |
| Fork Shoals | 2854 | Unidentified House | 500 Traynham Rd. | Princeton | circa 1890s | Not Eligible |
| Fork Shoals | 2855 | Unidentified House | 435 Traynham Rd. | Princeton | Circa 1910 | Not Eligible |
| Fork Shoals | 2856 | Unidentified House | 10940 Augusta Rd./Hwy 25 | Princeton | Circa 1900 | Not Eligible |
| Fork Shoals | 2857 | Unidentified House | 393 Taylor Rd. | Princeton | Circa 1890 | Not Eligible |
| Fork Shoals | 2858 | Unidentified House | 107 Flatrock Rd. extension | Princeton | Circa 1900 | Not Eligible |
| Fork Shoals | 2859 | Unidentified House | 493 Flatrock Rd. | Princeton | Circa 1890s | Not Eligible |
| Fork Shoals | 2860 | Unidentified House | 442 Flatrock Rd. | Princeton | Circa 1940s | Not Eligible |
| Fork Shoals | 2863 | Unidentified House | N side of Kirby Rd. across from 237 Kirby Rd. | Princeton | Circa 1890s | Not Eligible |
| Fork Shoals | 2864 | Unidentified House | 606 West Ridgeway Rd. | Princeton | Circa 1900 | Not Eligible |
| Fork Shoals | 2922 | Davis Home Place | 233 Southern Rd. | Fork Shoals | Circa 1895 | Not Eligible |
| Fork Shoals | 2924 | Unidentified House | 10740 Augusta Rd. | Fork Shoals | Circa 1930s | Not Eligible |


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| :---: | :---: | :---: | :---: | :---: | :---: | :---: |
| Fork Shoals | 2926 | Oak Hill Church | 430 Oak Hill Rd. | Fork Shoals | Circa 1945 | Not Eligible |
| Fork Shoals | 2928 | Unidentified House | 107 Cantrell Rd. | Fork Shoals | Circa 1910 | Not Eligible |
| Fork Shoals | 2930 | Hill House | 304 Oak Hill Rd. | Fork Shoals | Circa 1908 | Not Eligible |
| Fork Shoals | 2932 | Unidentified House | 233 Oak Hill Road | Fork Shoals | Circa 1920s | Not Eligible |
| Fork Shoals | 2936 | Mose Chapel M.E. Church | 279 Lickville Rd. | McKelvey Crossroads | Circa 1927 | Not Eligible |
| Fork Shoals | 2938 | Lickville Presbyterian Church | 10020 Augusta Rd. | McKelvey Crossroads | Circa 1882 | Not Eligible |
| Fork Shoals | 2940 | Parsonage of Lickville Presb. Church | 10020 Augusta Rd. | McKelvey Crossroads | Circa 1920s | Not Eligible |
| Fork Shoals | 2942 | Unidentified House | 10637 August Rd. | Fork Shoals | Circa 1900 | Not Eligible |
| Fork Shoals | 2944 | Unidentified House | 200 Daventon Rd. | Fork Shoals | Circa 1894 | Not Eligible |
| Fork Shoals | 2946 | Unidentified House | 150 meters E of Daventon Rd on S side of Dunklin bridge Rd. | Fork Shoals | Circa 1940s | Not Eligible |
| Fork Shoals | 2948 | Unidentified House | 1007 Dunklin Bridge Rd. | Duncan Township | Circa 1940 | Not Eligible |
| Fork Shoals | 2950 | Unidentified House | 1143 Dunklin Bridge Rd. | Duncan Township | Circa 1905 | Not Eligible |
| Fork Shoals | 2952 | Lebanon Church | 1450 Dunklin Bridge Rd. | Duncan Township | Circa 1850s | Not Eligible |
| Fork Shoals | 2954 | Unidentified House | 1350 Dunklin Bridge Rd. | Duncan Township | Circa 1925 | Not Eligible |
| Fork Shoals | 2956 | Unidentified House | Dunklin Bridge Rd. | Duncan Township | Circa 1940 | Not Eligible |
| Fork Shoals | 2958 | Fork Shoals Cotton Mill | 1322 McKelvey Rd. | Fork Shoals | 1852 | Contributes to Eligible District |
| Fork Shoals | 2960 | Unidentified House | 1309 McKelvey Rd. | Fork Shoals | Circa 1920s | Contributes to Eligible District |
| Fork Shoals | 2962 | Unidentified House | 105 Cedar Falls Rd. | Fork Shoals | Circa 1910 | Contributes to Eligible District |
| Fork Shoals | 2964 | Unidentified House | 107 Cedar Falls Rd. | Fork Shoals | Circa 1920s | Contributes to Eligible District |
| Fork Shoals | 2966 | Unidentified House | 463 Berry Rd. | Fork Shoals | Circa 1920s | Contributes to Eligible District |
| Fork Shoals | 2968 | Unidentified House | 460 Berry Rd. | Fork Shoals | Circa 1920s | Contributes to Eligible District |
| Fork Shoals | 2970 | Unidentified House | 1021 McKelvey Rd. | Fork Shoals | Circa 1890 | Contributes to Eligible District |
| Fork Shoals | 2972 | Unidentified House | 1014 McKelvey Rd. | Fork Shoals | Circa 1890 | Contributes to Eligible District |
| Fork Shoals | 2974 | Fork Shoals School | On S side of McKelvey Rd. across from Fork Shoals Church Rd. | Fork Shoals | Circa 1940s | Contributes to Eligible District |
| Fork Shoals | 2976 | Fork Shoals Baptist Church | 110 Fork Shoals Church Rd. | Fork Shoals | Circa 1950s | Contributes to Eligible District |
| Fork Shoals | 2977 | Cedar Falls Baptist Church | 100 Cedar Falls Rd. | Fork Shoals | Circa 1940s | Contributes to Eligible District |
| Fork Shoals | 2978 | Unidentified House | 850 McKelvey Rd. | Fork Shoals | Circa 1920s | Contributes to Eligible District |
| Fork Shoals | 2979 | Unidentified Commercial Building | 1051 McKelvey Rd. | Fork Shoals | Circa 1920s | Contributes to Eligible District |
| Fork Shoals | 2980 | Unidentified House | 851 McKelvey Rd. | Fork Shoals | Circa 1920s | Contributes to Eligible District |
| Fork Shoals | 2981 | Unidentified House | 1101 McKelvey Rd. | Fork Shoals | Circa 1920s | Contributes to Eligible District |
| Fork Shoals | 2982 | Unidentified House | 1/4 Mile E of Slatton Shoals Rd. on N side of McKelvey Rd. | Fork Shoals | Circa 1910 | Not Eligible |
| Fork Shoals | 2983 | Unidentified House | 1107 McKelvey Rd. | Fork Shoals | Circa 1920s | Contributes to Eligible District |
| Fork Shoals | 2984 | Unidentified House | 621 McKelvey Rd. | Lickville | Circa 1890 | Not Eligible |
| Fork Shoals | 2985 | Unidentified House | 1301 McKelvey Rd. | Fork Shoals | Circa 1920s | Contributes to Eligible District |
| Fork Shoals | 2986 | Unidentified House | 521 McKelvey Rd. | Lickville | Circa 1920s | Not Eligible |
| Fork Shoals | 2988 | Unidentified House | 300 McKittrick Rd. | Lickville | Circa 1890 | Not Eligible |
| Fork Shoals | 2990 | Unidentified House | 130 McKittrick Rd. | Lickville | Circa 1940s | Not Eligible |
| Fork Shoals | 2992 | Unidentified House | 100 meters S of Chapman Rd on E side of Augusta Rd | McKelvey Crossroads | Circa 1920s | Not Eligible |
| Fork Shoals | 2994 | Allison-Woods House | 117 Chapman Rd. | McKelvey Crossroads | Circa 1910 | Not Eligible |
| Fork Shoals | 2996 | Unidentified House | 179 Chapman Rd. | McKelvey Crossroads | Circa 1915 | Not Eligible |
| Fork Shoals | 2998 | Unidentified House | 240 Chapman Grove Rd. | McKelvey Crossroads | Circa 1940 | Not Eligible |
| Fork Shoals | 3000 | Unidentified House | 3/4 of mile north of Chapman Rd. on E side of Chapman Grove Rd. | McKelvey Crossroads | Circa 1940s | Not Eligible |
| Fork Shoals | 3002 | New Pleasant Grove Baptist Church | 135 New Pleasant Grove Rd. | Lickville | Circa 1940 | Not Eligible |
| Fork Shoals | 3004 | Unidentified House | 360 Forksville Rd. | Duncan Township | Circa 1900 | Not Eligible |
| Fork Shoals | 3006 | New Forksville Baptist Church | 89 New Forksville Church Rd. | Duncan Township | Circa 1920 | Not Eligible |
| Fork Shoals | 3008 | Unidentified House | W side of Forksville Rd. directly across from New Forksville Church Rd | Duncan Township | Circa 1880 | Not Eligible |
| Fork Shoals | 3010 | Unidentified House | 10528 Augusta Rd. | McKelvey Crossroads | Circa 1910 | Not Eligible |
| Fork Shoals | 3012 | Unidentified House | 10532 Augusta Rd. | McKelvey Crossroads | Circa 1940 | Not Eligible |



| QUAD | SITE NO. | HISTORIC NAME | ADDRESS/ LOCATION | VICINITY OF | DATE | SHPO EVALUATION |
| :---: | :---: | :---: | :---: | :---: | :---: | :---: |
| Fountain Inn | 3060 | Unidentified House | Across from 521 Nash Mill Rd. | Fork Shoals | Circa 1920s | Not Eligible |
| Fountain Inn | 3084 | Unidentified House | 103 Greenpond Rd. | Fountain Inn | Circa 1910 | Not Eligible |
| Fountain Inn | 3086 | Unidentified House | 305 Nash Mill Rd. | Fountain Inn | Circa 1900 | Not Eligible |
| Fountain Inn | 3088 | Unidentified House | Eside of Nash Mill Rd. $1 / 4 \mathrm{~m}$ S of Phillips Ln. | Fountain Inn | Circa 1890s | Not Eligible |
| Fountain Inn | 3090 | Unidentified House | 502 Nash Mill Rd. | Fountain Inn | Circa 1900 | Not Eligible |
| Fountain Inn | 3092 | Unidentified House | 107 Parsons Rd. | Fountain Inn | Circa 1890 | Not Eligible |
| Fountain Inn | 3156 | Unidentified House | 914 E. Georgia Rd. | Simpsonville | Circa 1905 | Not Eligible |
| Fountain Inn | 3901 | Unidentified House | 103 Dianne Ave. | Simpsonville | Circa 1950s | Not Eligible |
| Greenville | 3179 | Mount Pleasant Baptist Church | W side of White Horse Rd./Hwy 25, approx. 1/4 mile S of Fairfield Rd. | Greenville | Circa 1938 | Not Eligible |
| Greenville | 3183 | Unidentified House | 1205 White Horse Rd./Hwy 25 | Greenville | Circa 1920 | Not Eligible |
| Greenville | 3185 | Unidentified House | 1148 White Horse Rd./Hwy 25 | Greenville | Circa 1930s | Not Eligible |
| Greenville | 3187 | Unidentified House | 114 Old Grove Rd. | Greenville | Circa 1890s | Not Eligible |
| Greenville | 3189 | Unidentified House | 105 Old Grove Rd. | Greenville | Circa 1940s | Not Eligible |
| Greenville | 3191 | Unidentified House | 101 Old Grove Rd. | Greenville | Circa 1940s | Not Eligible |
| Greenville | 3425 | Unidentified House | 304 Penarth Drive | Greenville | 1955 | Not Eligible |
| Greenville | 3427 | Unidentified House | 310 Rainbow Drive | Greenville | 1959 | Not Eligible |
| Greenville | 3429 | Unidentified House | 501 Crane Avenue | Greenville | c. 1955 | Not Eligible |
| Greenville | 3431 | Means Property | 504 West Marion Road | Greenville | Late 19th cent | Eligible |
| Greenville | 3433 | Unidentified House | 26 Claxton Drive | Greenville | c. 1955 | Not Eligible |
| Greenville | 3435 | Unidentified House | 2 Manassas Drive | Greenville | c. 1955 | Not Eligible |
| Greenville | 3437 | Unidentified House | 1 Lathem Drive | Greenville | c. 1955 | Not Eligible |
| Greenville | 3439 | Unidentified House | 25 Etowah Drive | Greenville | c. 1960 | Not Eligible |
| Greenville | 3441 | Tom Moore House and Cannery | 112 Saluda Dam Road | Greenville | 1902 | Not Eligible |
| Greenville | 3443 | Unidentified House | 107 Page Drive | Greenville | c. 1930 | Not Eligible |
| Greenville | 3445 | Unidentified House | 115 Page Drive | Greenville | c. 1930 | Not Eligible |
| Greenville | 3447 | Unidentified House | 117 Page Drive | Greenville | c. 1930 | Not Eligible |
| Greenville | 3449 | Unidentified House | 134 Tanglewood Drive | Greenville | c. 1900 | Not Eligible |
| Greenville | 3451 | Unidentified House | 2 New Dunham Bridge Road | Greenville | c. 1955 | Not Eligible |
| Greenville | 3453 | Julian Avenue Baptist Church | Junction of Old Easley Bridge Road and Julian Avenue | Greenville | c. 1950 | Not Eligible |
| Greenville | 3455 | Unidentified House | 512 South Welcome Road | Greenville | c. 1940 | Not Eligible |
| Greenville | 3457 | Mackey D's Restaurant | 3000 Old Easley Bridge Road | Greenville | c. 1930 | Not Eligible |
| Greenville | 3459 | Unidentified House | 3002 Old Easley Bridge Road | Greenville | c. 1930 | Not Eligible |
| Greenville | 3731 | Grant School | Crucible Court at the SC Technology and Aviation Center | Greenville | 1940 | Not Eligible |
| Greenville | 3743 | Unidentified House | 104 Smythe Street | Greenville | c. 1910 | Not Eligible |
| Greenville | 3745 | Unidentified House | 107 Smythe Street | Greenville | c. 1910 | Not Eligible |
| Greenville | 3747 | Unidentified House | 106 Smythe Street | Greenville | c. 1910 | Not Eligible |
| Greenville | 3749 | Unidentified House | 108 Smythe Street | Greenville | c. 1910 | Not Eligible |
| Greenville | 3751 | Unidentified House | 110 Smythe Street | Greenville | c. 1910 | Not Eligible |
| Greenville | 3753 | Unidentified House | 111 Smythe Street | Greenville | c. 1905 | Not Eligible |
| Greenville | 3755 | Unidentified House | 109 Smythe Street | Greenville | c. 1910 | Not Eligible |
| Greenville | 3785 | Unidentified House | 2 McBeth Street | Greenville | c. 1900 | Not Eligible |
| Greenville | 3787 | Unidentified House | 401 Smythe Street | Greenville | Early 20th Cent | Not Eligible |
| Greenville | 3789 | Unidentified House | 309 Smythe Street | Greenville | c. 1940 | Not Eligible |
| Greenville | 3791 | Unidentified House | 307 Smythe Street | Greenville | c. 1940 | Not Eligible |
| Greenville | 3793 | Unidentified House | 305 Smythe Street | Greenville | c. 1940 | Not Eligible |
| Greenville | 3795 | Unidentified House | 303 Smythe Street | Greenville | c. 1940 | Not Eligible |
| Greenville | 3797 | F.W. Poe Manufacturing Company General Office | 255 A Street | Greenville | Early 20th Cent | Not Eligible |



| QUAD | SITE NO. | HISTORIC NAME | ADDRESS/ LOCATION | VICINITY OF | DATE | SHPO EVALUATION |
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| Mauldin | 3234 | Unidentified House | 330 Dublin Rd. | Mauldin | Circa 1930s | Not Eligible |
| Mauldin | 3236 | Unidentified House | NE corner of E Isaac Rd. and Dublin Rd. | Mauldin | Circa 1930 | Not Eligible |
| Mauldin | 3238 | Durham House | End of Durham Rd. around 150 meters E of 308 Durham Rd. | Mauldin | Circa 1920 | Not Eligible |
| Mauldin | 3240 | Unidentified House | 1614 Hwy 14 | Mauldin | Circa 1940 | Not Eligible |
| Mauldin | 3242 | Unidentified House | 445 4th Ave. | Conestee | Circa 1940s | Contributes to Eligible District |
| Mauldin | 3244 | Unidentified House | 433 4th Ave. | Conestee | Circa 1900 | Contributes to Eligible District |
| Mauldin | 3246 | Unidentified House | 27 S. Charles Rd. | Conestee | Circa 1945 | Contributes to Eligible District |
| Mauldin | 3248 | Unidentified House | NE corner of 4th Ave. and S Charles Rd. | Conestee | Circa 1910 | Contributes to Eligible District |
| Mauldin | 3250 | McBee Chapel | 53 Main St. | Conestee | 1841 | Contributes to Eligible District |
| Mauldin | 3252 | Reedy River Presbyterian Church | 46 Main St. | Conestee | Circa 1940s | Contributes to Eligible District |
| Mauldin | 3254 | Unidentified Chruch | 87 Main St. | Conestee | Circa 1945 | Contributes to Eligible District |
| Mauldin | 3256 | Unidentified House | 206 Old Standing Spring Rd. | Conestee | Circa 1940s | Contributes to Eligible District |
| Mauldin | 3258 | Unidentified House | 208 Old Standing Spring Rd. | Conestee | Circa 1940s | Contributes to Eligible District |
| Mauldin | 3260 | Unidentified House | 305 3rd St. | Conestee | Circa 1910s | Contributes to Eligible District |
| Mauldin | 3262 | Unidentified House | 2 1st Ave. | Conestee | Circa 1900 | Contributes to Eligible District |
| Mauldin | 3264 | Unidentified House | 103 1st Ave. | Conestee | Circa 1910 | Contributes to Eligible District |
| Mauldin | 3266 | Unidentified House | 104 1st Ave. | Conestee | Circa 1900 | Contributes to Eligible District |
| Mauldin | 3268 | Unidentified House | 106 1st Ave. | Conestee | Circa 1920s | Contributes to Eligible District |
| Mauldin | 3270 | Unidentified House | 105 1st Ave. | Conestee | Circa 1900 | Contributes to Eligible District |
| Mauldin | 3272 | Unidentified House | E side of 6th St about 1/4 mile S of 1st Ave. | Conestee | Circa 1890s | Contributes to Eligible District |
| Mauldin | 3274 | Unidentified House | 233 6th St. | Conestee | Circa 1915 | Contributes to Eligible District |
| Mauldin | 3276 | Unidentified House | 133 3rd Ave. | Conestee | Circa 1920 | Contributes to Eligible District |
| Mauldin | 3278 | Unidentified House | SW corner of 3rd Ave and 6th St Conestee | Conestee | Circa 1920 | Contributes to Eligible District |
| Mauldin | 3280 | Unidentified House | NE corner of 3rd Ave and Spring St | Conestee | Circa 1900 | Contributes to Eligible District |
| Mauldin | 3282 | Unidentified House | 38 3rd Ave. | Conestee | Circa 1920s | Contributes to Eligible District |
| Mauldin | 3284 | Unidentified House | 40 3rd Ave. | Conestee | Circa 1950 | Contributes to Eligible District |
| Mauldin | 3286 | Unidentified House | 195 Standing Springs Rd. | Conestee | Circa 1940 | Contributes to Eligible District |
| Mauldin | 3893 | Conestee Mill | 1 Spanco Drive Conestee SC 29636 | Conestee | c. 1900 | Contributes to Eligible District |
| Mauldin | 3895 | Conestee Mill | 1 Spanco Drive, Conestee SC 29636 | Conestee | c. 1950 | Non-Contributing |
| Mauldin | 3897 | Conestee Mill | 1 Spanco Drive, Conestee SC 29636 | Conestee | Early 20th Cent | Non-Contributing |
| Mauldin | 3899 | Conestee Dam | 1 Spanco Drive, Conestee SC 29636 | Conestee | Early 20th Cent | Contributes to Eligible District |
| Paris Mountain | 3100 | Ebeneezer Baptist Church | 28 Ebeneezer Church Road | Travelers Rest | 1953 | Not Eligible |
| Paris Mountain | 3215 | Dr. Benson Home | 201 Tigerville Road | Travelers Rest | Circa 1900 | Not Eligible |
| Paris Mountain | 3217 | Hart Home | 433 Tigerville Road | Travelers Rest | Circa 1830 | Not Eligible |
| Paris Mountain | 3219 | House at Dicey Langston Springfield Homeplace | 830 Tigerville Road | Travelers Rest | 19th Century | Not Eligible |
| Paris Mountain | 3225 | Renfrew Bleachery Office | 15 Renfrew Avenue | Travelers Rest | Circa 1930s | Contributes to Eligible District |
| Paris Mountain | 3227 | Church associated with Renfrew Bleachery | 37 Renfrew Avenue | Travelers Rest | Circa 1940 | Contributes to Eligible District |
| Paris Mountain | 3229 | Church at 2 Church Street (Renfrew Bleachery) | 2 Church Street | Travelers Rest | Circa 1930s | Contributes to Eligible District |
| Paris Mountain | 3231 | Unidentified House | 3 School Street | Travelers Rest | Circa 1930s | Contributes to Eligible District |
| Paris Mountain | 3233 | Unidentified House | 206 Hodgens Drive | Travelers Rest | Circa 1900 | Contributes to Eligible District |
| Paris Mountain | 3235 | Unidentified House | 34 Circle Street | Travelers Rest | Circa 1930s | Contributes to Eligible District |
| Paris Mountain | 3237 | Unidentified House | 111 Hodgens Drive | Travelers Rest | Circa 1930s | Contributes to Eligible District |
| Paris Mountain | 3239 | Ebeneezer School | Old White Horse Road | Travelers Rest | Pre-1940 | Not Eligible |
| Paris Mountain | 3241 | White Oaks; Charles E. Daniel Home | 1209 Roe Ford Road | Travelers Rest | 1957 | Eligible |
| Paris Mountain | 3243 | Whitmire Home | 660 Keeler Road | Travelers Rest | Circa 1900 | Not Eligible |


| QUAD | SITE NO. | HISTORIC NAME | ADDRESS/ LOCATION | VICINITY OF | DATE | SHPO EVALUATION |
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| Paris Mountain | 3245 | Unidentified House | 23 Brooks Avenue | Travelers Rest | Circa 1902 | Contributes to Eligible District |
| Paris Mountain | 3247 | Unidentified House | 102 Brooks Avenue | Travelers Rest | Circa 1902 | Contributes to Eligible District |
| Paris Mountain | 3249 | Unidentified House | 6 Latimer Street | Travelers Rest | circa 1902 | Not Eligible |
| Paris Mountain | 3251 | Unidentified House | 3 Bud Street | Travelers Rest | Circa 1902 | Contributes to Eligible District |
| Paris Mountain | 3253 | Union Bleachery Baptist Church | 100 Bud Street | Travelers Rest | 1959 | Contributes to Eligible District |
| Paris Mountain | 3255 | Arington Memorial United Methodist | Old Buncombe at Bud Street | Travelers Rest | Mid 20th Cent | Contributes to Eligible District |
| Paris Mountain | 3257 | Peter Caubel Marchbanks Home | 77 Marchbanks Drive | Travelers Rest | Mid 19th Cent | Not Eligible |
| Paris Mountain | 3259 | Old College | Furman University Campus, north of bell tower | Travelers Rest | 1851 | Not Eligible |
| Paris Mountain | 3261 | Cherrydale | Furman Campus, southwest quadrant | Travelers Rest | Circa 1850 | Eligible |
| Paris Mountain | 3263 | Caine Residence / Robert M. Caine Home | 275 Sunrise Valley Road | Travelers Rest | 1961 | Not Eligible |
| Paris Mountain | 3327 | Unidentified House | 12920 Old White Horse Road | Travelers Rest | 1940s | Not Eligible |
| Paris Mountain | 3333 | Unidentified House | 15 Manley Road | Travelers Rest | c. 1880 | Not Eligible |
| Paris Mountain | 3335 | Unidentified House | 110 Ledbetter Road | Travelers Rest | c. 1880 | Not Eligible |
| Paris Mountain | 3403 | Unidentified House | 125 Rutledge Lake Road | Greenville | c. 1920 | Not Eligible |
| Paris Mountain | 3405 | Armstrong School | West side of Highway 25, North of Martin Drive | Greenville | c. 1955 | Not Eligible |
| Paris Mountain | 3407 | Unidentified House | South side of Groce Road between st numbers 224 and 307 | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3409 | Unidentified House | 131 Blackberry Valley Road | Greenville | 1949 | Not Eligible |
| Paris Mountain | 3411 | Unidentified House | 880 Jackson Grove Road | Travelers Rest | c. 1940 | Not Eligible |
| Paris Mountain | 3413 | Unidentified House | 677 Enoree Road | Travelers Rest | 1920s | Not Eligible |
| Paris Mountain | 3415 | Little Texas Grocery | 5228 State Park Road | Travelers Rest | 1906 | Not Eligible |
| Paris Mountain | 3417 | Unidentified House | 5220 State Park Road | Travelers Rest | 1940 | Not Eligible |
| Paris Mountain | 3419 | Unidentified House | 2 Fallout Shelter Road | Travelers Rest | 1936 | Not Eligible |
| Paris Mountain | 3421 | Unidentified House | 126 Clearview Road | Travelers Rest | c. 1900 | Not Eligible |
| Paris Mountain | 3423 | John Calvin Presbyterian Church | 1801 West Parker Road | Greenville | Early 20th Cent | Not Eligible |
| Paris Mountain | 3461 | Unidentified House | 110 Jones Kelly Road | Travelers Rest | c. 1940 | Not Eligible |
| Paris Mountain | 3463 | Unidentified House | 351 Tubbs Mountain Road | Travelers Rest | c. 1940 | Not Eligible |
| Paris Mountain | 3465 | Unidentified House | 400 Belvue School Road | Travelers Rest | c. 1900 | Not Eligible |
| Paris Mountain | 3467 | Unidentified House | 301 Jackson Grove Road | Travelers Rest | c. 1900 | Not Eligible |
| Paris Mountain | 3652 | Unidentified House | 10706 Old White Horse Road | Travelers Rest | c. 1940 | Not Eligible |
| Paris Mountain | 3665 | Unidentified House | 617 Sulpher Springs Road | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3667 | Unidentified House | 12 Pine Grove Lane | Greenville | c. 1950 | Not Eligible |
| Paris Mountain | 3669 | Unidentified House | 13 Pine Grove Lane | Greenville | c. 1950 | Not Eligible |
| Paris Mountain | 3671 | Unidentified House | 31 Pine Grove Lane | Greenville | c. 1950 | Not Eligible |
| Paris Mountain | 3673 | Unidentified House | 114 Sulpher Springs Drive | Greenville | c. 1955 | Not Eligible |
| Paris Mountain | 3675 | Unidentified House | 23 Racine Court | Greenville | c. 1955 | Not Eligible |
| Paris Mountain | 3677 | Unidentified House | 17 Racine Court | Greenville | c. 1955 | Not Eligible |
| Paris Mountain | 3679 | Unidentified House | 13 Racine Court | Greenville | c. 1955 | Not Eligible |
| Paris Mountain | 3681 | Unidentified House | 4810 Old Buncombe Road | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3682 | Unidentified House | 10403 Old White Horse Road | Travelers Rest | c. 1940 | Not Eligible |
| Paris Mountain | 3683 | Unidentified House | 4808 Old Buncombe Road | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3685 | Unidentified House | 4405 Old Buncombe Road | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3687 | Unidentified House | 4403 Old Buncombe Road | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3689 | Unidentified House | 4309 Old Buncombe Road | Greenville | c. 1950 | Not Eligible |
| Paris Mountain | 3691 | Unidentified House | 4307 Old Buncombe Road | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3693 | Unidentified House | 4303 Old Buncombe Road | Greenville | c. 1935 | Not Eligible |
| Paris Mountain | 3695 | Unidentified House | 4300 Old Buncombe Road | Greenville | Early 20th Cent | Not Eligible |
| Paris Mountain | 3697 | Unidentified House | 4205 Old Buncombe Road | Greenville | Early 20th Cent | Not Eligible |
| Paris Mountain | 3699 | Unidentified House | 4119 Old Buncombe Road | Greenville | c. 1940 | Not Eligible |


| QUAD | SITE NO. | HISTORIC NAME | ADDRESS/ LOCATION | VICINITY OF | DATE | SHPO EVALUATION |
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| Paris Mountain | 3701 | Unidentified House | 4015 Old Buncombe Road | Greenville | c. 1930 | Not Eligible |
| Paris Mountain | 3703 | Unidentified House | 4009 Old Buncombe Road | Greenville | c. 1930 | Not Eligible |
| Paris Mountain | 3705 | Unidentified House | 4021 Old Buncombe Road | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3707 | Unidentified House | 4022 Old Buncombe Road | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3709 | Unidentified House | 3906 Old Buncombe Road | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3711 | Unidentified House | 3904 Old Buncombe Road | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3713 | Unidentified House | 4 S Haven Road | Greenville | Early 20th Cent | Not Eligible |
| Paris Mountain | 3715 | Unidentified House | 3A and 3B South Haven Road | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3717 | Unidentified House | 380 Old Buncombe Road | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3719 | Unidentified House | 6 Irene Circle | Greenville | Early 20th Cent | Contributes to Eligible District |
| Paris Mountain | 3721 | Unidentified House | 136 Irene Circle | Greenville | c. 1940 | Contributes to Eligible District |
| Paris Mountain | 3723 | Unidentified House | 3198 Old Buncombe Road | Greenville | c. 1930 | Not Eligible |
| Paris Mountain | 3725 | Unidentified House | 3200 Old Buncombe Road | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3733 | Unidentified House | 3201 Old Buncombe Road | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3735 | Unidentified House | 3111 Old Buncombe Road | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3737 | Unidentified House | 3110 Old Buncombe Road | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3739 | Unidentified House | 3101 Old Buncombe Road | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3741 | Sans Souci Baptist Church | 3100 Old Buncombe Road | Greenville | 1948 | Not Eligible |
| Paris Mountain | 3757 | Unidentified House | 4 North Franklin Road | Greenville | c. 1930 | Not Eligible |
| Paris Mountain | 3759 | Unidentified House | 6 North Franklin Road | Greenville | c. 1920 | Not Eligible |
| Paris Mountain | 3761 | Unidentified House | 8 North Franklin Road | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3763 | Unidentified House | 204 North Franklin Road | Greenville | c. 1950 | Not Eligible |
| Paris Mountain | 3765 | Unidentified House | 209 North Franklin Road | Greenville | c. 1930 | Not Eligible |
| Paris Mountain | 3767 | Unidentified House | 200 North Franklin Road | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3769 | Unidentified House | 117 North Franklin Road | Greenville | c. 1930 | Not Eligible |
| Paris Mountain | 3771 | Unidentified House | 115 North Franklin Road | Greenville | c. 1935 | Not Eligible |
| Paris Mountain | 3773 | Unidentified House | 3 South Franklin Street | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3775 | Unidentified House | 6 South Franklin Street | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3777 | Unidentified House | 8 South Franklin Street | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3779 | Unidentified House | 10 South Franklin Street | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3781 | Unidentified House | 209 South Franklin Road | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3783 | Unidentified House | 208 South Franklin Road | Greenville | c. 1940 | Not Eligible |
| Paris Mountain | 3801 | Unidentified House | 318 Rogers Avenue | Greenville | c. 1945 | Not Eligible |
| Paris Mountain | 3803 | Unidentified House | 320 Rogers Avenue | Greenville | c. 1945 | Not Eligible |
| Paris Mountain | 3805 | Unidentified House | 3805 Rogers Avenue | Greenville | c. 1945 | Not Eligible |
| Paris Mountain | 3807 | Unidentified House | 317 Rogers Avenue | Greenville | c. 1945 | Not Eligible |
| Paris Mountain | 3809 | Unidentified House | 315 Rogers Avenue | Greenville | c. 1945 | Not Eligible |
| Paris Mountain | 3811 | Unidentified House | 303 Rogers Avenue | Greenville | c. 1945 | Not Eligible |
| Paris Mountain | 3813 | Unidentified House | 308 Rogers Avenue | Greenville | c. 1945 | Not Eligible |
| Paris Mountain | 3903 | Unidentified House | 11315 Old White Horse Road | Travelers Rest | c. 1880 | Not Eligible |
| Paris Mountain | 3905 | Charles E. Daniel Dining Hall | Furman University Campus | Travelers Rest | 1958 | Not Eligible |
| Paris Mountain | 3907 | Greendale Farms (Greene Homeplace) | 21237 Old White Horse Road | Travelers Rest | c. 1860 | Not Eligible |
| Pelham | 2898 | Unidentified House | 1503 Hwy 417 | Simpsonville | circa 1890 | Not Eligible |
| Pelham | 2910 | The Goodwin house | 218 Goodwin Rd. | Simpsonville | Circa 1940 | Not Eligible |
| Pelham | 2912 | Unidentified House | 2438 E. Georgia Rd. | Simpsonville | Circa 1900 | Not Eligible |
| Pelham | 3102 | New Pilgrim Baptist Church | N side of Bethany Rd. between Scuffletown Rd. and Lee Vaughn Rd. | Simpsonville | 1964 | Not Eligible |
| Pelham | 3104 | Unidentified House | 1201 Scuffletown Rd. | Simpsonville | Circa 1900 | Not Eligible |
| Pelham | 3106 | Unidentified House | SE side of E. Georgia Rd. at intersection with Lee Vaughn Rd. | Simpsonville | Circa 1940 | Not Eligible |

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| QUAD | SITE NO. | HISTORIC NAME | ADDRESS/ LOCATION | VICINITY OF | DATE | SHPO EVALUATION |
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| Pelzer | 3913 | Unidentified House | E side of Augusta Rd./Hwy 25, across from 9428 Augusta Rd./Hwy 25 | Ware Place | Circa 1940s | Not Eligible |
| Saluda | 3295 | Unidentified House | 128 Orchard Drive | Landrum | Circa 1940s | Not Eligible |
| Simpsonville | 2907 | Unidentified House | 700 Harrison Bridge Rd. at Fairview Rd. | Simpsonville | Circa 1940s | Not Eligible |
| Simpsonville | 2909 | Unidentified House | 803 Fairview Rd. | Simpsonville | Circa 1900 | Not Eligible |
| Simpsonville | 2911 | Unity Baptist Church | SW corner of intersection Fairview Rd. and Neely Ferry Rd. | Simpsonville | Circa 1940s | Not Eligible |
| Simpsonville | 2913 | Unidentified House | 833 Fairview Rd. | Simpsonville | Circa 1890s | Not Eligible |
| Simpsonville | 2915 | Unidentified House | 847 Fairview Rd. | Simpsonville | Circa 1890s | Not Eligible |
| Simpsonville | 2917 | Unidentified House | 1103 Fairview Rd. | Simpsonville | Circa 1900 | Not Eligible |
| Simpsonville | 2919 | Unidentified Commercial Building | 1270 Fairview Rd. | Simpsonville | Circa 1950s | Not Eligible |
| Simpsonville | 2921 | Unidentified House | 112 S. Harrison Bridge Rd. | Simpsonville | Circa 1910s | Not Eligible |
| Simpsonville | 2923 | Unidentified House | E side of S Harrison Bridge Rd, between 334 \& 346 S Harrison Bridge Rd | Simpsonville | Circa 1890s | Not Eligible |
| Simpsonville | 2925 | Unidentified House | 543 S. Harrison Bridge Rd. | Simpsonville | Circa 1940s | Not Eligible |
| Simpsonville | 2927 | Unidentified House | 1603 Fairview Rd. | Simpsonville | 1887 | Eligible |
| Simpsonville | 2929 | Unknown | 1818 Fairview Rd. | Simpsonville | Circa 1900 | Not Eligible |
| Simpsonville | 2931 | Unidentified House | 1929 Fairview Rd. | Simpsonville | Circa 1890s | Eligible |
| Simpsonville | 2933 | Unidentified House | 2137 McKelvey Rd. | Simpsonville | Circa 1890s | Not Eligible |
| Simpsonville | 2935 | Unidentified House | 2125 McKelvey Rd. | Simpsonville | Circa 1930s | Not Eligible |
| Simpsonville | 2937 | Unidentified House | N side of McKelvey Rd., approx. 1/2 mile SW of Hillside Church Rd. | Simpsonville | Circa 1890s | Not Eligible |
| Simpsonville | 2939 | Unidentified House | E side of Hillside Church Rd., across from 118 Hillside Church Rd. | Simpsonville | Circa 1890s | Not Eligible |
| Simpsonville | 2943 | Unidentified House | 1855 McKelvey Rd. | Simpsonville | Circa 1920s | Not Eligible |
| Simpsonville | 2945 | Unidentified House | 1809 McKelvey Church Rd. | Simpsonville | Circa 1890s | Not Eligible |
| Simpsonville | 2947 | Pisgah United Methodist Church | 1719 McKelvey Rd. | Simpsonville | Circa 1920s | Not Eligible |
| Simpsonville | 2951 | Unidentified House | 4389 Fork Shoals Rd. | Simpsonville | Circa 1900 | Contributes to Eligible District |
| Simpsonville | 2953 | Unidentified House | W side of Fork Shoals Rd., approx. 1/8 mile S. of 4389 Fork Shoals Rd. | Simpsonville | Circa 1900 | Contributes to Eligible District |
| Simpsonville | 2955 | Unidentified House | 4396 Fork Shoals Rd. | Simpsonville | Circa 1920s | Contributes to Eligible District |
| Simpsonville | 2957 | Unidentified House | W side of Berry Rd., approx. 1/4 mile N of Hwy 418 | Simpsonville | Circa 1890s | Not Eligible |
| Simpsonville | 2959 | Unidentified House | W side of Berry Rd., approx. $1 / 2$ mile N of Hwy 418 | Simpsonville | Circa 1940s | Not Eligible |
| Simpsonville | 2961 | Unidentified House | 819 Old Hundred Rd. | Simpsonville | Circa 1900 | Not Eligible |
| Simpsonville | 2963 | Unidentified House | 822 Old Hundred Rd. | Simpsonville | Circa 1890s | Not Eligible |
| Simpsonville | 2965 | Unidentified House | 611 Old Hundred Rd. | Simpsonville | Circa 1890s | Not Eligible |
| Simpsonville | 2967 | Unidentified House | 121 Oaklawn Rd. | Simpsonville | Circa 1940s | Not Eligible |
| Simpsonville | 2969 | Unidentified House | 594 Old Hundred Rd. | Simpsonville | Circa 1890s | Not Eligible |
| Simpsonville | 2971 | Unidentified House | 1739 Hwy 419 | Simpsonville | Circa 1900 | Not Eligible |
| Simpsonville | 2973 | Unidentified House | 1729 Hwy 419 | Simpsonville | Circa 1920s | Not Eligible |
| Simpsonville | 2975 | Unidentified House | 1990 Reedy Fork Rd. | Simpsonville | Circa 1890s | Not Eligible |
| Simpsonville | 2987 | Unidentified House | 2127 Reedy Fork Rd. | Ware Place | Circa 1900 | Not Eligible |
| Simpsonville | 2993 | Fork Shoals Tower Keeper's House | 73 Fire Tower Rd. | Ware Place | Circa 1940s | Not Eligible |
| Simpsonville | 2995 | Fork Shoals Lookout Tower | 73 Fire Tower Rd. | Ware Place | Circa 1940s | Not Eligible |
| Simpsonville | 2997 | Unidentified House | 1790 Reedy Fork Rd. | Ware Place | Circa 1890 | Not Eligible |
| Simpsonville | 2999 | Unidentified House | 370 Davis Rd. | Ware Place | Circa 1890 | Not Eligible |
| Simpsonville | 3001 | Unidentified House | 312 Davis Rd. | Ware Place | Circa 1890s | Not Eligible |
| Simpsonville | 3003 | Unidentified House | 1512 Neely Ferry Rd. | Simpsonville | Circa 1900 | Not Eligible |
| Simpsonville | 3005 | Unidentified House | 3453 Fork Shoals Rd. | Simpsonville | Circa 1890s | Not Eligible |
| Simpsonville | 3007 | Unidentified House | W side of Fork Shoals Rd., across from 3221 Fork Shoals Rd. | Simpsonville | Circa 1910 | Not Eligible |
| Simpsonville | 3009 | Unidentified House | 202 Fairground Rd. | Simpsonville | Circa 1920s | Not Eligible |
| Simpsonville | 3011 | Unknown | On SE corner of intersection of Fork Shoals Rd. \& Holcombe Rd. | Simpsonville | Circa 1940s | Not Eligible |
| Simpsonville | 3013 | Unidentified House | 1912 W Georgia Rd. | Simpsonville | Circa 1900 | Not Eligible |
| Simpsonville | 3017 | Unidentified House | W side of Fork Shoals Rd., approx. 1/4 mile N of St. Alban's School Rd | Simpsonville | Circa 1920s | Not Eligible |


| QUAD | SITE NO. | HISTORIC NAME | ADDRESS/ LOCATION | VICINITY OF | DATE | SHPO EVALUATION |
| :---: | :---: | :---: | :---: | :---: | :---: | :---: |
| Simpsonville | 3019 | Unidentified House | 703 Reedy Fork Rd. | Moonville | Circa 1910s | Not Eligible |
| Simpsonville | 3021 | Unidentified House | 695 Reedy Fork Rd. | Moonville | Circa 1920 | Not Eligible |
| Simpsonville | 3023 | Unidentified House | 665 Reedy Fork | Moonville | Circa 1910 | Not Eligible |
| Simpsonville | 3025 | Burdett Mill | N side of Burdett Mill Rd., approx. 1/8 mile E of Reedy Fork Rd. | Moonville | Circa 1880s | Not Eligible |
| Simpsonville | 3027 | Unidentified House | 604 Reedy Fork Rd. | Moonville | Circa 1920s | Not Eligible |
| Simpsonville | 3029 | Unidentified House | 357 Blakely Rd. | Moonville | Circa 1910s | Not Eligible |
| Simpsonville | 3041 | Henderson Home | 504 Reedy Fork Rd. | Moonville | Circa 1920s | Not Eligible |
| Simpsonville | 3043 | Unidentified House | 1817 West Georgia Rd. | Simpsonville | Circa 1890s | Not Eligible |
| Simpsonville | 3045 | Unidentified House | SW corner of Fork Shoals Rd \& E Sloan Rd. | Simpsonville | Circa 1920 | Not Eligible |
| Simpsonville | 3047 | Unidentified House | 2316 Fork Shoals Rd. | Simpsonville | Circa 1920 | Not Eligible |
| Simpsonville | 3063 | Unidentified House | 502 East Standing Springs Rd. | Simpsonville | Circa 1890s | Not Eligible |
| Simpsonville | 3065 | Unidentified House | 440 Log Shoals Rd. | Simpsonville | Circa 1940s | Not Eligible |
| Simpsonville | 3069 | Rocky Creek Baptist Church | Rocky Creek Rd. | Simpsonville | Circa 1911 | Not Eligible |
| Simpsonville | 3071 | Unidentified House | 281 Log Shoals Rd. | Simpsonville | Circa 1940s | Not Eligible |
| Simpsonville | 3075 | Unidentified House | 36 Log Shoals Rd. | Moonville | Circa 1900 | Not Eligible |
| Simpsonville | 3077 | Unidentified House | 2007 Fork Shoals Rd. | Moonville | Circa 1990 | Not Eligible |
| Simpsonville | 3079 | Union Baptist Church | End of Union Church Rd. | Moonville | 1942 | Not Eligible |
| Simpsonville | 3081 | Antioch Church | NW corner of intersection of Antioch Church Rd. \& Fork Shoals Rd. | Moonville | Circa 1940s | Not Eligible |
| Simpsonville | 3141 | Unidentified House | 1070 Garrison Rd. | Ware Place | Circa 1880s | Not Eligible |
| Simpsonville | 3211 | Old Hundred Grill and Grocery | Intersection of Reedy Fork and Old Hundred Road | Pelzer | Mid-20th Cent | Not Eligible |
| Simpsonville | 3727 | WPA Bridge at Former Donaldson/Greenville AFB | Echelon Road near junction with Kitty Hawk Road | Greenville | 1938 | Not Eligible |
| Simpsonville | 3729.00 | 1500 Area Warehouses at Former Donaldson AFB | Southeastern corner of installation off the north side Perimeter Road | Greenville | c. 1940 | Not Eligible |
| Simpsonville | 3729.01 | 1500 Area Warehouses at Former Donaldson AFB | Southeastern corner of installation off the north side Perimeter Road | Greenville | c. 1940 | Not Eligible |
| Simpsonville | 3729.02 | 1500 Area Warehouses at Former Donaldson AFB | Southeastern corner of installation off the north side Perimeter Road | Greenville | c. 1940 | Not Eligible |
| Simpsonville | 3729.03 | 1500 Area Warehouses at Former Donaldson AFB | Southeastern corner of installation off the north side Perimeter Road | Greenville | c. 1940 | Not Eligible |
| Simpsonville | 3729.04 | 1500 Area Warehouses at Former Donaldson AFB | Southeastern corner of installation off the north side Perimeter Road | Greenville | c. 1940 | Not Eligible |
| Simpsonville | 3729.05 | 1500 Area Warehouses at Former Donaldson AFB | Southeastern corner of installation off the north side Perimeter Road | Greenville | c. 1940 | Not Eligible |
| Simpsonville | 3729.06 | 1500 Area Warehouses at Former Donaldson AFB | Southeastern corner of installation off the north side Perimeter Road | Greenville | c. 1940 | Not Eligible |
| Simpsonville | 3729.07 | 1500 Area Warehouses at Former Donaldson AFB | Southeastern corner of installation off the north side Perimeter Road | Greenville | c. 1940 | Not Eligible |
| Simpsonville | 3867 | St. Alban's School | 2603 Fork Shoals Road | Simpsonville | Circa 1940s | Not Eligible |
| Simpsonville | 3869 | St. Alban's School | 2603 Fork Shoals Road | Simpsonville | Circa 1940s | Not Eligible |
| Simpsonville | 3871 | St. Alban's School | 2603 Fork Shoals Road | Simpsonville | Circa 1940s | Not Eligible |
| Slater | 2899 | Unidentified House | 800 Slater Road | Marietta | c. 1940 | Not Eligible |
| Slater | 2900 | Marietta Woodworks | 802 Slater Rd | Marietta | c. 1940 | Not Eligible |
| Slater | 2941 | Marietta Shoe Shop | 804 Slater Road | Marietta | c. 1940 | Not Eligible |
| Slater | 3221 | Locust Hill Elementary School | 5497 Locust Hill Road | Travelers Rest | Circa 1920 | Not Eligible |
| Slater | 3288 | Locust Hill Baptist Church | 5534 Locust Hill Rd. | Tigerville | 1950 | Not Eligible |
| Slater | 3290 | Hill Crest | 2611 Tigerville Rd. | Tigerville | Circa 1890s | Not Eligible |
| Slater | 3292 | Unidentified House | 2605 Tigerville Rd. | Tigerville | Circa 1940 | Not Eligible |



| VICINITY OF | DATE | SHPO EVALUATION |
| :---: | :---: | :---: |
| Tigerville | Circa 1920s | Not Eligible |
| Tigerville | Circa 1910 | Not Eligible |
| Tigerville | Circa 1940 | Not Eligible |
| Tigerville | Circa 1955 | Not Eligible |
| Tigerville | Circa 1950s | Not Eligible |
| Slater | Circa 1930s | Not Eligible |
| Slater | Circa 1940s | Not Eligible |
| Slater | Circa 1940s | Not Eligible |
| Slater | Circa 1940 | Not Eligible |
| Slater | Circa 1928 | Contributes to Eligible District |
| Slater | 1928 | Contributes to Eligible District |
| Slater | 1928 | Contributes to Eligible District |
| Slater | Circa 1930 | Contributes to Eligible District |
| Slater | Circa 1930 | Not Eligible |
| Slater | Circa 1930 | Contributes to Eligible District |
| Slater | Circa 1920s | Contributes to Eligible District |
| Slater | Circa 1940 | Contributes to Eligible District |
| Slater | Circa 1930s | Not Eligible |
| Slater | Circa 1890 | Not Eligible |
| Slater | Circa 1930s | Not Eligible |
| Tigerville | Circa 1890 | Not Eligible |
| Tigerville | Circa 1880s | Not Eligible |
| Slater | Circa 1940s | Not Eligible |
| Slater | Circa 1940s | Not Eligible |
| Slater | Circa 1930s | Not Eligible |
| Slater | Circa 1880-1900 | Not Eligible |
| Slater | 1953 | Not Eligible |
| Slater | Circa 1900 | Not Eligible |
| Slater | Circa 1910 | Not Eligible |
| Slater | Circa 1900 | Not Eligible |
| Slater | Circa 1950s | Not Eligible |
| Slater | Circa 1930s | Not Eligible |
| Tigerville | Circa 1900 | Not Eligible |
| Tigerville | Circa 1890 | Not Eligible |
| Tigerville | Circa 1863 | Not Eligible |
| Slater | 1934 | Eligible |
| Slater | Circa 1930s | Contributes to Eligible District |
| Slater | Circa 1930s | Contributes to Eligible District |
| Slater | Circa 1950s | Contributes to Eligible District |
| Slater | Circa 1930s | Contributes to Eligible District |
| Slater | 1939 | Contributes to Eligible District |
| Slater | Circa 1930s | Contributes to Eligible District |
| Slater | Circa 1930s | Contributes to Eligible District |
| Slater | Circa 1930s | Contributes to Eligible District |
| Slater | Circa 1930s | Contributes to Eligible District |
| Slater | Circa 1950 | Contributes to Eligible District |
| Slater | Circa 1930s | Contributes to Eligible District |
| Slater | Circa 1930 | Contributes to Eligible District |



60 Lakeside Dr.
side Dr. about $1 / 4$ mile S of Belvue Rd.
Cut Rd. about $1 / 4$ mile N of Hannon Rd.
363 Hart Cut Rd.
539 Hart Cut Rd. 539 Hart Cut Rd.

605 Hart Cut Rd.
645 Hart Cut Rd. -py łnכ みeн OTL


300 Meadow Fork Rd.
37 S. McKinney Rd.
5 Whitney St.

113 Whitney St.

106 Mellon St.

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| QUAD | SITE NO. | HISTORIC NAME | ADDRESS/ LOCATION | VICINITY OF | DATE | SHPO EVALUATION |
| :---: | :---: | :---: | :---: | :---: | :---: | :---: |
| Slater | 3580 | Burns House | 200 Burns Rd. | Tigerville | Circa 1900 | Not Eligible |
| Slater | 3582 | Unidentified House | NE corner of Trammel Rd. and Burns Rd. | Greenville | Circa 1920s | Not Eligible |
| Slater | 3584 | "Old Man Griffin's House" | 310 Burns Rd. | Tigerville | Circa 1880s | Not Eligible |
| Slater | 3586 | Unidentified House | 2401 Hwy. 414 | Tigerville | Circa 1910 | Not Eligible |
| Standing Stone Mountain | 3325 | Cleveland Fish Hatchery | 303 Jones Gap Road | Marietta | 1931 | Not Eligible |
| Standingstone Mountain | 3323.00 | Hide-A-Way Camp | 140 Fall Creek Road | Marietta | Circa 1950s | Not Eligible |
| Standingstone Mountain | 3323.01 | Hide-A-Way Camp | 140 Fall Creek Road | Marietta | Circa 1950s | Not Eligible |
| Standingstone Mountian | 3321 | Gap Creek Church | 381 Gap Creek Road | Marietta | Circa 1930 | Not Eligible |
| Standingstone Mountian | 3329 | Unidentified House | 238 Duckworth Road | Marietta | Circa 1940s | Not Eligible |
| Standingstone Mountian | 3331 | Unidentified House | 235 Duckworth Road | Marietta | Circa 1940s | Not Eligible |
| Standingstone Mountian | 3337 | Unidentified House | 223 Duckworth Road | Marietta | Circa 1940s | Not Eligible |
| Standingstone Mountian | 3341 | Unidentified House | 124 Jones Gap Road | Marietta | Circa 1950 | Not Eligible |
| Standingstone Mountian | 3343 | Unidentified House | 166 Jones Gap Road | Marietta | Circa 1940s | Not Eligible |
| Table Rock | 2849 | Unidentified House | 302 Table Rock Road | Lakemont | Mid 20th Cent | Not Eligible |
| Table Rock | 2861 | Unidentified House | Lakemont Road on the north side of its intersection with Haygood road | Lakemont | c. 1940 | Not Eligible |
| Taylors | 3223 | Suber Mill | 2002 Suber Mill Road | Greer | 1908 | Not Eligible |
| Taylors | 3603 | Unidentified House | 122 West Gap Creek Road | Greer | Early 20th Cent | Not Eligible |
| Taylors | 3694 | Bomar Home | 3541 Hwy. 101 | O'Neal | Circa 1895 | Not Eligible |
| Taylors | 3724 | Unidentified House | 611 Warehouse Ct. | Greenville | c. 1940 | Not Eligible |
| Taylors | 3726 | Unidentified House | 603 Warehouse Ct. | Greenville | Circa 1940 | Not Eligible |
| Taylors | 3728 | Unidentified House | 601 Warehouse Ct. | Greenville | c. 1940 | Not Eligible |
| Taylors | 3730 | Unidentified House | 408 Waddell | Greenville | Circa 1940 | Not Eligible |
| Taylors | 3732 | Unidentified House | 6 Gandy Ave | Greenville | Circa 1940 | Not Eligible |
| Taylors | 3734 | Unidentified House | 24 Gandy | Greenville | Circa 1940 | Not Eligible |
| Taylors | 3736 | Unidentified House | 26 Gandy Ave. | Greenville | Circa 1940 | Not Eligible |
| Taylors | 3738 | Unidentified House | 29 Gandy Ave. | Greenville | Circa 1940 | Not Eligible |
| Taylors | 3740 | St. Matthew Methodist Church | 2507 Rutherford Rd. | Greenville | 1932 | Not Eligible |
| Taylors | 3742 | Unidentified House | 2247 Rutherford Rd. | Greenville | Circa 1940 | Not Eligible |
| Taylors | 3744 | Old Vaughn Homeplace | 16 Mill St. | Greenville | Circa 1935 | Not Eligible |
| Taylors | 3746 | Unidentified House | 20 Mill St. | Greenville | Circa 1935 | Not Eligible |
| Taylors | 3748 | Unidentified House | 13 Mill St. | Greenville | Circa 1940 | Not Eligible |
| Taylors | 3750 | Unidentified House | 2229 Rutherford Rd. | Greenville | Circa 1940s | Not Eligible |
| Taylors | 3752 | Unidentified House | 58 Emma St. | Greenville | Circa 1940s | Not Eligible |
| Taylors | 3754 | Unidentified House | 40 Emma St. | Greenville | Circa 1940 | Not Eligible |
| Taylors | 3756 | Rutherford Road Baptist Church | 9 Scenic Dr. | Greenville | Circa 1950s | Not Eligible |
| Taylors | 3758 | Unidentified House | 703 Spring St. | Greenville | Circa 1940s | Not Eligible |
| Taylors | 3760 | Unidentified House | 404 Willow Dr. | Greenville | Circa 1940 | Not Eligible |
| Taylors | 3762 | Unidentified House | 402 Willow Dr. | Greenville | Circa 1940s | Not Eligible |
| Taylors | 3764 | Piedmont Park Baptist Church | 709 Piedmont Park Rd. | Greenville | Circa 1950s | Not Eligible |



| HISTORIC NAME | ADDRESS／LOCATION | VICINITY OF | DATE | SHPO EVALUATION |
| :---: | :---: | :---: | :---: | :---: |
| Unidentified House | 3415 Locust Hill Rd． | Travelers Rest | Circa 1910 | Not Eligible |
| Unidentified House | 4101 Locust Hill Rd． | Travelers Rest | Circa 1915 | Not Eligible |
| Unidentified House | 452 Bulls Rd． | Travelers Rest | Circa 1900 | Not Eligible |
| Unidentified House | 840 Groce Meadow Rd． | Greer | Circa 1890s | Not Eligible |
| Old Belton O＇Neal Homeplace | 3248 Saluda Gap Rd．／Hwy． 101 | Greer | Circa 1880s | Not Eligible |
| Unidentified House | 222 N．Rutherford Rd． | Greer | Circa 1890s | Not Eligible |
| Unidentified House | 228 N．Rutherford Rd． | Greer | Circa 1930s | Not Eligible |
| Unidentified Roadside Store | 4206 Hwy． 414 | Gowensville | Circa 1950s | Not Eligible |
| Unidentified House | 7010 Mountain View Rd．／Hwy． 253 | Tigerville | Circa 1940s | Not Eligible |
| Tyger Baptist Church | 2768 Hwy． 414 | Tigerville | Circa 1950s | Not Eligible |
| Ebenezer Welcome Baptist Church | 4005 Hwy． 414 | Tigerville | 1930s／1950s | Not Eligible |
| Unidentified House | 4699 Howe Rd． | Tigerville | Circa 1940s | Not Eligible |
| Unidentified House | 3927 Hwy． 414 | Tigerville | Circa 1915 | Not Eligible |
| Unidentified House | 3918 Hwy． 414 | Tigerville | Circa 1930s | Not Eligible |
| Moon House | 3910 Hwy． 414 | Tigerville | 1945 | Not Eligible |
| Unidentified House | 3845 Hwy． 414 | Tigerville | Circa 1920s | Not Eligible |
| Unidentified House | 3835 Hwy． 414 | Tigerville | Circa 1930s | Not Eligible |
| Unidentified House | 3724 Hwy． 414 | Tigerville | Circa 1930s | Not Eligible |
| Unidentified House | 3706 Hwy． 414 | Tigerville | Circa 1940 | Not Eligible |
| Unidentified House | 3708 Hwy． 414 | Tigerville | 1946 | Not Eligible |
| Unidentified House | 3639 Hwy． 414 | Tigerville | Circa 1940 | Not Eligible |
| Unidentified House | 100 S．Glassy Mountain Rd． | Tigerville | Circa 1900 | Not Eligible |
| Unidentified House | 3525 Hwy． 414 | Tigerville | Circa 1940s | Not Eligible |
| Unidentified House | 3507 Hwy． 414 | Tigerville | Circa 1950 | Not Eligible |
| Unidentified House | 5610 Mountain view Rd．／Hwy 253 | Tigerville | Circa 1900 | Not Eligible |
| Unidentified House | 5725 Mountain View Rd．／Hwy． 253 | Tigerville | Circa 1930s | Not Eligible |
| Unidentified House | 5731 Mountain View Rd．／Hwy 253 | Tigerville | Circa 1930s | Not Eligible |
| Unidentified House | E side of Mountain View Rd．／Hwy． 253 about 1／8 ml N of Groce Meadow Rd | Tigerville | Circa 1915 | Not Eligible |
| Unidentified House | 5944 Mountain View Rd．／Hwy． 253 | Tigerville | Circa 1915 | Not Eligible |
| Unidentified House | 6025 Mountain View Rd．／Hwy． 253 | Tigerville | Circa 1900 | Not Eligible |
| Unidentified House | 6200 Mountain View Rd．／Hwy． 253 | Tigerville | Circa 1910 | Not Eligible |
| Mountain View Methodist Church | 6525 Mountain View Rd．／Hwy． 253 | Tigerville | 1940 | Not Eligible |
| Unidentified House | 6357 Mountain View Rd．／Hwy． 253 | Tigerville | Circa 1910 | Not Eligible |
| Unidentified Store | 6357 Mountain View Rd．／Hwy． 253 | Tigerville | Circa 1930s | Not Eligible |
| Lighthouse Baptist Church | 6301 Mountain View Rd．／Hwy． 253 | Tigerville | Circa 1950s | Not Eligible |
| Unidentified House | 6209 Mountain View Rd．／Hwy． 253 | Tigerville | Circa 1900 | Not Eligible |
| Unidentified House | 6527 Mountain View Rd．／Hwy． 253 | Tigerville | Circa 1940s | Not Eligible |
| Unidentified Store | 6550 Mountain View Rd．／Hwy． 253 | Tigerville | Circa 1940 | Not Eligible |
| Unidentified House | 6550 Mountain View Rd．／Hwy． 253 | Tigerville | Circa 1940s | Not Eligible |
| Unidentified House | 6640 Mountain View Rd．／Hwy． 253 | Tigerville | Circa 1890 | Not Eligible |
| Unidentified House | 6920 Mountain View Rd．／Hwy． 253 | Tigerville | Circa 1940 | Not Eligible |
| Unidentified House | 7015 Mountain View Rd．／Hwy． 253 | Tigerville | Circa 1940 | Not Eligible |
| Unidentified House | 7020 Mountain View Rd． | Tigerville | Circa 1940 | Not Eligible |
| Unidentified House | 7025 Mountain View Rd． | Tigerville | Circa 1930s | Not Eligible |
| Unidentified House | 7011 Mountain View Rd． | Tigerville | Circa 1910 | Not Eligible |
| Unidentified House | 7050 Mountain View Rd． | Tigerville | Circa 1900 | Not Eligible |
| Unidentified House | 7603 Mountain View Rd． | Tigerville | Circa 1850s | Not Eligible |
| Barbara McKormick House | 7840 N．Tigerville Rd． | Tigerville | Circa 1890 | Not Eligible |


| $\begin{aligned} & \frac{2}{w} \\ & \frac{\underset{n}{n}}{n} \end{aligned}$ | $\left\lvert\, \begin{aligned} & \mathbf{\infty} \\ & \infty \\ & \infty \end{aligned}\right.$ | $\begin{aligned} & \infty \\ & \infty \\ & \infty \\ & \hline \end{aligned}$ | $\left\|\begin{array}{l} \infty \\ \infty \\ \infty \\ m \end{array}\right\|$ | $\begin{aligned} & \text { ob } \\ & \infty \\ & \hline \end{aligned}$ | $\begin{array}{\|c} \mathfrak{N} \\ \underset{\sim}{\infty} \end{array}$ | $\underset{\sim}{\mathbf{\infty}}$ | $\stackrel{\otimes}{\infty}$ | $\underset{\sim}{\underset{\sim}{n}} \underset{\sim}{\underset{\sim}{N}}$ | $\begin{array}{c\|c} \underset{N}{N} & \infty \\ \underset{m}{n} & \underset{m}{n} \end{array}$ |  | $\begin{array}{l\|l\|} \substack{n \\ n \\ \sim \\ \hline} \\ \hline \end{array}$ | $\begin{aligned} & \text { tin } \\ & \text { NON } \end{aligned}$ | $\left\|\begin{array}{l} \mathrm{e} \\ \mathrm{~N} \\ \mathrm{n} \end{array}\right\|$ | $\begin{aligned} & \infty \\ & 0 \\ & \end{aligned}$ | $\begin{array}{\|l\|} \hline \mathrm{O} \\ \mathrm{O} \end{array}$ | $\begin{aligned} & \mathrm{O} \\ & \mathrm{O} \end{aligned}$ | $\begin{aligned} & \mathrm{O} \\ & \mathrm{O} \\ & \mathrm{M} \end{aligned}$ | $\begin{aligned} & 0 \\ & \hline 0 \\ & 0 \end{aligned}$ | $\begin{aligned} & \infty \\ & \hline \\ & 0 \\ & \hline \end{aligned}$ | $\begin{aligned} & 0 \\ & 0 \\ & 0 \\ & \hline \end{aligned}$ | $\begin{aligned} & \underset{\sim}{n} \\ & \underset{\sim}{2} \end{aligned}$ | $\begin{aligned} & \underset{\sim}{\overrightarrow{0}} \\ & \hline \end{aligned}$ | $\begin{aligned} & 0 \\ & 0 \\ & \hline 0 \end{aligned}$ | $\begin{aligned} & \infty \\ & \overrightarrow{0} \\ & \mathrm{p} \end{aligned}$ | 성 | $\begin{aligned} & \underset{N}{N} \\ & \mathbf{N} \end{aligned}$ | $\underset{\sim}{\underset{N}{2}}$ | $\begin{aligned} & \mathbf{e} \\ & \mathbf{N} \\ & \mathbf{N} \end{aligned}$ | $\begin{gathered} \infty \\ \mathbf{0} \\ \mathbf{N} \end{gathered}$ | $\begin{aligned} & \stackrel{\rightharpoonup}{\tilde{M}} \\ & \mathbf{0} \end{aligned}$ | $\begin{aligned} & \tilde{N} \\ & \mathbf{N} \end{aligned}$ | $\begin{aligned} & \underset{N}{N} \\ & \mathbf{N} \end{aligned}$ | $\begin{aligned} & 0 \\ & 0 \\ & 0 \\ & \hline \end{aligned}$ | $\left.\begin{aligned} & \infty \\ & \mathbf{N} \\ & \mathbf{N} \end{aligned} \right\rvert\,$ | $\begin{aligned} & \mathrm{o} \\ & \mathbf{y} \\ & \hline \end{aligned}$ | $\begin{aligned} & \text { N } \\ & \underset{\sim}{2} \end{aligned}$ | $$ | $\left\lvert\, \begin{aligned} & 0 \\ & \vdots \\ & \mathbf{N} \end{aligned}\right.$ | $\begin{aligned} & \infty \\ & \stackrel{\infty}{\mathbf{N}} \\ & \hline \end{aligned}$ | $\begin{aligned} & \text { 융 } \\ & \text { N } \end{aligned}$ | ざ | $\begin{aligned} & 0 \\ & \hat{0} \\ & 0 \\ & \hline \end{aligned}$ | $\begin{gathered} \infty \\ \hat{\sim} \\ 0 \end{gathered}$ | $\begin{aligned} & \stackrel{\rightharpoonup}{0} \\ & 0 \end{aligned}$ | $\begin{aligned} & \text { N} \\ & \mathbf{O} \end{aligned}$ | ぜ | ＋ |
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| $\begin{aligned} & \text { Q } \\ & \stackrel{8}{\sigma} \end{aligned}$ | $\left\|\begin{array}{c} \stackrel{n}{0} \\ \frac{0}{\lambda} \\ \stackrel{\rightharpoonup}{\sigma} \end{array}\right\|$ |  | $\begin{aligned} & \stackrel{\ddots}{\grave{0}} \\ & \frac{\vdots}{\lambda} \\ & \stackrel{\rightharpoonup}{0} \end{aligned}$ | $\begin{gathered} \frac{n}{0} \\ \frac{\vdots}{\lambda} \\ \stackrel{\pi}{0} \end{gathered}$ | $\begin{array}{\|c} \stackrel{n}{0} \\ \frac{\vdots}{\star} \\ \stackrel{\rightharpoonup}{0} \end{array}$ | $\begin{gathered} \frac{n}{0} \\ \stackrel{\rightharpoonup}{\star} \\ \stackrel{\pi}{6} \end{gathered}$ | $\begin{gathered} \frac{n}{0} \\ \stackrel{\rightharpoonup}{\lambda} \\ \stackrel{\sigma}{-} \end{gathered}$ |  |  |  |  |  |  |  |  | $\begin{gathered} \stackrel{0}{\stackrel{\rightharpoonup}{3}} \\ \stackrel{2}{2} \\ \stackrel{.0}{=} \end{gathered}$ |  | $\begin{aligned} & \stackrel{0}{\stackrel{2}{2}} \\ & \stackrel{2}{2} \\ & \stackrel{20}{=} \end{aligned}$ | $\begin{gathered} \stackrel{0}{7} \\ \overline{2} \\ \frac{0}{2} \\ i=0 \end{gathered}$ |  | $\begin{aligned} & \stackrel{0}{\overline{2}} \\ & \frac{2}{0} \\ & \frac{00}{1} \end{aligned}$ |  |  |  | $\stackrel{0}{2}$ |  | $\begin{aligned} & \stackrel{0}{\overline{2}} \\ & \frac{2}{\omega} \\ & \frac{0}{2} \end{aligned}$ |  | $\begin{aligned} & \stackrel{0}{\overline{2}} \\ & \stackrel{\sum}{2} \\ & .0 .0 \\ & i= \end{aligned}$ |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  | $O 2$ |


| QUAD | SITE NO. | HISTORIC NAME | ADDRESS/ LOCATION | VICINITY OF | DATE | SHPO EVALUATION |
| :---: | :---: | :---: | :---: | :---: | :---: | :---: |
| Tigerville | 3668 | Unidentified House | 4637 Howe Rd. | Gowensville | Circa 1940s | Not Eligible |
| Tigerville | 3670 | Unidentified House | 113 Dill Rd. | Gowensville | Circa 1920s | Not Eligible |
| Tigerville | 3672 | Unidentified House | 116 Dill Rd. | Gowensville | Circa 1920s | Not Eligible |
| Tigerville | 3674 | Unidentified House | 331 Dill Rd. | Gowensville | Circa 1920s | Not Eligible |
| Tigerville | 3676 | Dr. Morr's Homeplace | 4249 Hwy. 414 | Gowensville | Circa 1900 | Not Eligible |
| Tigerville | 3678 | Unidentified House | E side of Pleasant Hill Rd. about 1/8 mile N of Hwy 414 | Gowensville | Circa 1880s | Not Eligible |
| Tigerville | 3680 | Unidentified House | 1020 Pleasant Hill Rd. | Gowensville | circa 1940s | Not Eligible |
| Tigerville | 3684 | Unidentified House | 4206 Hwy. 414 | Gowensville | Circa 1940 | Not Eligible |
| Tigerville | 3686 | Unidentified House | 4108 Hwy. 414 | Gowensville | Circa 1930s | Not Eligible |
| Tigerville | 3688 | Unidentified House | 4107 Hwy. 414 | Gowensville | Circa 1940 | Not Eligible |
| Tigerville | 3690 | Unidentified House | 727 Tugaloo Rd. | Gowensville | Circa 1900 | Not Eligible |
| Tigerville | 3692 | William and Elizabeth Bomar Home | 3905 Hwy. 101 | O'Neal | Circa 1890s | Not Eligible |
| Tigerville | 3696 | Unidentified House | 3557 Hwy. 101 | O'Neal | Circa 1900 | Not Eligible |
| Tigerville | 3698 | Oneal Grocery | 3700 Hwy. 101 | O'Neal | Circa 1920s | Not Eligible |
| Tigerville | 3700 | Unidentified House | 3703 Hwy. 101 | O'Neal | Circa 1940s | Not Eligible |
| Tigerville | 3702 | Unidentified House | 3769 Hwy. 101 | O'Neal | Circa 1915 | Not Eligible |
| Tigerville | 3704 | Barton Chapel | NE corner of Camp Rd. and Hwy. 101 | O'Neal | Circa 1950s | Not Eligible |
| Tigerville | 3706 | Unidentified House | 3836 Hwy. 101 | O'Neal | Circa 1910 | Not Eligible |
| Tigerville | 3708 | Unidentified House | 3847 Hwy. 101 | O'Neal | Circa 1915 | Not Eligible |
| Tigerville | 3710 | St. Paul Church | 3856 Hwy. 101 | Greer | 1945 | Not Eligible |
| Tigerville | 3712 | Stroud House | 2755 Hwy. 414 | Tigerville | Circa 1921 | Not Eligible |
| Tigerville | 3714 | Unidentified House | 2812 Hwy. 414 | Tigerville | Circa 1900 | Not Eligible |
| Tigerville | 3716 | Unidentified House | 2830 Hwy. 414 | Tigerville | Circa 1900 | Not Eligible |
| Tigerville | 3718 | Unidentified House | 2900 Hwy. 414 | Tigerville | Circa 1890s | Not Eligible |
| Tigerville | 3720 | Unidentified Store | NW corner of Hwy. 414 and N Southerlin Rd. | Tigerville | Circa 1910 | Eligible |
| Tigerville | 3722 | New Salem Baptist Church | S side of Hwy. 414 about 1/4 mile W of Burrell Rd. | Tigerville | 1955 | Not Eligible |
| Tigerville | 3815 | Unidentified House | 137 Howard Rd. | Tigerville | Circa 1920s | Not Eligible |
| Tigerville | 3817 | Unidentified House | 522 Tugaloo Rd. | Tigerville | Circa 1930s | Not Eligible |
| Tigerville | 3819 | Unidentified House | 3705 Hwy. 414 | Tigerville | Circa 1940s | Not Eligible |
| Tigerville | 3821 | Unidentified House | 3499 Hwy. 414 | Tigerville | Circa 1910 | Not Eligible |
| Tigerville | 3823 | Robertson Home | 3457 Hwy. 414 | Tigerville | Circa 1917 | Not Eligible |
| Tigerville | 3825 | Unidentified House | Hwy. 414 | Tigerville | Circa 1930s | Not Eligible |
| Tigerville | 3827 | Flying F Ranch | 4001 Hwy. 101 | Tigerville | Circa 1930s | Not Eligible |
| Tigerville | 3829 | Unidentified House | 3969 Hwy. Saluda Gap Rd./ Hwy. 101 | Tigerville | Circa 1920 | Not Eligible |
| Tigerville | 3831 | Unidentified House | 3957 Hwy. 101 | Tigerville | Circa 1930s | Not Eligible |
| Tigerville | 3833 | Unidentified House | 3949 Hwy. 101 | Tigerville | Circa 1890s | Not Eligible |
| Tigerville | 3835 | Unidentified House | 3920 Hwy. 101 | Tigerville | Circa 1940s | Not Eligible |
| Tigerville | 3837 | Unidentified House | 3934 Hwy. 101 | Tigerville | Circa 1940s | Not Eligible |
| Tigerville | 3839 | Unidentified House | 4149 Hwy. 14 | Tigerville | Circa 1915 | Not Eligible |
| Tigerville | 3841 | The Herman Home | 1765 Fews Chapel Rd. | Greer | Circa 1945 | Not Eligible |
| Tigerville | 3843 | Unidentified store | 4265 Jordan Rd. | Greer | Circa 1940s | Not Eligible |
| Tigerville | 3845 | Unidentified House | 4272 Jordan Rd. | Greer | Circa 1940s | Not Eligible |
| Tigerville | 3846 | Unidentified House | 4706 Locust Hill Rd | Travelers Rest | Circa 1940s | Not Eligible |
| Tigerville | 3847 | Unidentified Garage and Filling Station | 4266 Jordan Rd. | Greer | Circa 1930s | Not Eligible |
| Tigerville | 3848 | Unidentified House | 4800 Locust Hill Rd. | Travelers Rest | Circa 1950s | Not Eligible |
| Tigerville | 3849 | Unidentified House | 4486 Jordan Rd. | Greer | Circa 1920s | Not Eligible |
| Tigerville | 3850 | Unidentified House | 4806 Locust Hill Rd. | Travelers Rest | Circa 1940s | Not Eligible |
| Tigerville | 3851 | Unidentified House | 4501 Jordan Rd. | Greer | Circa 1915 | Not Eligible |


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4627 Locust Hill Rd． 4915 Locust Hill Rd． 4910 Locust Hill Rd． 4798 Jordan Rd． py II！H łsnวoา PIO SS ＇py uep．or 668t －py II！H 7 nכo7 pIO 8T 5213 Locust Hill Rd． －py s！łf07 SSてz

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 483 Hwy． 912 II・イMH ZてLて
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 601 Callahan Mountain Road


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## Appendix B

Maps (on CD)

## Appendix C <br> Database and Photos (on CD)


[^0]:    1 South Carolina Department of Archives and History, Survey Manual: South Carolina Statewide Survey of Historic Properties (Columbia, SC: South Carolina Department of Archives and History, 2007).
    2 Patricia L. Parker, Guidelines for Local Surveys: A Basis for Preservation Planning. National Register Bulletin 24. (Washington, D.C.: U.S. Department of the Interior, Park Service, Interagency Resources Division, 1985).

    3 South Carolina Department of Archives and History, Survey Manual: South Carolina Statewide Survey of Historic Properties, 9.

[^1]:    4 Ibid, 10.
    5 National Park Service, Policy Expansion Photograph Policy: National Register of Historic Places. Available at <http://www.nps. gov/history/nr/policyexpansion.htm>, 2005 Accessed January 2013; South Carolina Department of Archives and History, Survey Manual: South Carolina Statewide Survey of Historic Properties, 31.

[^2]:    6 John Blumenson, Identifying American Architecture (Nashville, Tennessee: American Association for State and Local History, 1977); Richard Longstreth, The Buildings of Main Street: A Guide to American Commercial Architecture (Washington, D.C.: Preservation Press, 1987); Virginia McAlester and Lee McAlester, A Field Guide to American Houses (New York: Alfred A. Knopf, 1998); John C. Poppeliers, S. Allen Chambers Jr., and Nancy B. Schwartz, What Style Is It? A Guide to American Architecture (Washington D.C.: Preservation Press, 1983); Marcus Whiffen, American Architecture Since 1780: A Guide to the Styles (Cambridge: MIT Press, 1981).
    7 Daniel J. Vieyra, "Gas Stations," in Built in the USA: American Buildings from Airports to Zoos, (Washington, D.C.: Preservation Press, 1985), 86-89; Phoebe Stanton, "Religious Architecture, "in Built in the USA: American Buildings from Airports to Zoos, edited by Diane Maddex, (Washington, D.C.: Preservation Press, 1985), 138-143; Elisabeth Walton Potter and Beth M. Boland, Guidelines for Evaluating and Registering Cemeteries and Burial Places. National Register Bulletin 41. (Washington, D.C.: U.S. Department of the Interior, Park Service, Interagency Resources Division, 1992); Tim Hollis, Dixie Before Disney: 100 Years of Roadside Fun (Oxford: University Press of Mississippi, 1999).
    8 Marcella Sherfy and W. Ray Luce, National Register Bulletin 22: Guidelines for Evaluating and Nominating Properties that Have Achieved Significance in the Last Fifty Years(Washington DC: U.S. Department of the Interior, National Park Service, Interagency Resources Division, n.d.).
    9 Beth L. Savage and Sarah Dillard Pope, National Register Bulletin: How to Apply the National Register Criteria for Evaluation (Washington DC: U.S. Department of the Interior, National Park Service, Interagency Resources Division, 1989).

[^3]:    10 Ibid.
    11 William B. Butler, "Significance and Other Frustrations in the CRM Process," American Antiquity 53 (1987):820-829.

[^4]:    1 There have been several studies of the history of Greenville and Greenville County. They include Archie Vernon Huff, Jr., Greenville: The History of the City and County in the South Carolina Piedmont (Columbia, SC: University of South Carolina Press, 1995); James M. Richardson, History of Greenville County, South Carolina: Narrative and Biographical (Spartanburg, SC: The Reprint Company, Publishers, 1980); Mann Batson, A History of the Upper Part of Greenville County, South Carolina (Taylors, SC: Faith Printing Co., 1993); Nancy Vance Ashmore Cooper, Greenville: Woven from the Past (Sun Valley, CA: American Historical Press, 2001); Laura Smith Ebaugh, Bridging the Gap: A Guide to Early Greenville, South Carolina (Greenville, SC: Greenville County Events-S.C. Tricentennial, 1970); J. B. O. Landrum, Colonial and Revolutionary History of Upper South Carolina (Greenville, SC: Shannon and Co., 1897). These sources were viewed as part of the preparation of this context.
    2 Charles G. Kovacik and John J. Winberry, South Carolina: The Making of a Landscape (Columbia, SC: University of South Carolina Press, 1989), 17.
    3 Archie Vernon Huff, Jr., Greenville: The History of the City and County in the South Carolina Piedmont, 2.

[^5]:    4 Kovacik and Winberry, South Carolina: The Making of a Landscape, 212.
    5 Richardson, History of Greenville County, South Carolina: Narrative and Biographical, 18; Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 5.
    6 Chapman J. Milling, Red Carolinians (Chapel Hill: University of North Carolina Press, 1940), 268.
    7 Richardson, History of Greenville County, South Carolina: Narrative and Biographical, 23.
    8 Richardson, History of Greenville County, South Carolina: Narrative and Biographical, 23; Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 8.

[^6]:    9 Milling, Red Carolinians, 280.
    10 Richardson, History of Greenville County, South Carolina: Narrative and Biographical, 27.
    11 Richardson, History of Greenville County, South Carolina: Narrative and Biographical, 30.

[^7]:    14 Richardson, History of Greenville County, South Carolina: Narrative and Biographical, 53; Huff, Greenville: History of the City and County in the South Carolina Piedmont, 47. Sources vary on the inclusion of an additional "e" in Greenville (i.e., Greeneville). Richardson includes a modernized spelling (Greenville), while Huff cites the alternate spelling (Greeneville).
    15 Richardson, History of Greenville County, South Carolina: Narrative and Biographical, 53.
    16 Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 44-45.
    17 Richardson, History of Greenville County, South Carolina: Narrative and Biographical, 60; Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 57.
    18 Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 45.

[^8]:    19 Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 56.

[^9]:    20 Robert Mills, Statistics of South Carolina, Including a View of Its Natural, Civil, and Military History, General and Particular (Charleston, SC: Hurlburg and Lloyd, 1826), 572.
    21 Huff, Greenville: The History of the City and County in the South Carolina Piedmont 49, Richardson, History of Greenville County, South Carolina: Narrative and Biographical, 14.
    22 Ebaugh, Bridging the Gap: An Early Guide to Greenville, South Carolina, 29.

[^10]:    23 Robert Mills, Statistics of South Carolina, Including a View of Its Natural, Civil, and Military History, General and Particular, 576; Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 63.
    24 Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 62.
    25 Robert Mills, Statistics of South Carolina, Including a View of Its Natural, Civil, and Military History, General and Particular, 576.
    26 Robert Mills, Statistics of South Carolina, Including a View of Its Natural, Civil, and Military History, General and Particular, 573.
    27 Richardson, History of Greenville County, South Carolina: Narrative and Biographical, 72.
    28 Richardson, History of Greenville County, South Carolina: Narrative and Biographical, 97.
    29 Cooper, Greenville: Woven from the Past, 39.

[^11]:    31 Richardson, History of Greenville County, South Carolina: Narrative and Biographical, 63.
    32 Mills, Statistics of South Carolina, Including a View of Its Natural, Civil, and Military History, General and Particular, 576.

[^12]:    33 Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 101, 122-123.

[^13]:    34 Cooper, Greenville: Woven from the Past, 48-57.
    35 Cooper, Greenville: Woven from the Past, 74.
    36 Richardson, The History of Greenville County, South Carolina: Narrative and Biographical, 85.
    37 Richardson, History of Greenville County, South Carolina: Narrative and Biographical, 86.
    38 Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 151-152, 154.

[^14]:    39 Walter Edgar, South Carolina: A History (Columbia; University of South Carolina Press, 1998), 396; Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 152.
    40 Edgar, South Carolina: A History, 396; Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 159. Huff indicates that 1,325 bushels of corn and 1,000 pounds of bacon were given to 1,666 individuals; of these, 813 were white, 853 were African Americans, and 1,062 were children.
    41 Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 161.
    42 Edgar, South Carolina: A History, 396.

[^15]:    48 Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 173.
    49 Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 221-222.
    50 Richardson, History of Greenville County, South Carolina: Narrative and Biographical, 98.
    51 Jeffrey R. Willis, Remembering Greenville: Photographs from the Coxe Collection (Charleston, SC: Arcadia Publishing, 2003), 130.

[^16]:    52
    Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 233.

[^17]:    53 Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 201.
    54 Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 220-221, 388.
    55 Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 233.

[^18]:    56 Mary S. Hoffschwelle, Preserving Rosenwald Schools (Washington: National Trust for Historic Preservation, 2012), 1, 10.
    57 Weathers, Lindsay C.M., The Rosenwald School Building Program in South Carolina, 1917-1932, Multiple Property Documentation Form (Columbia, SC: University of South Carolina Public History Program, December 2008), 7.
    58 Huff, Greenville: The History of the City and County in the South Carolina Piedmont, 238, 389.

[^19]:    1 Virginia McAlester and Lee McAlester, A Field Guide to American Houses (New York: Alfred A. Knopf, 2003).

[^20]:    3 See discussion in McAlester and McAlester, 88-101.

[^21]:    2 For an overview of Primitive Baptists as well as the general interior form of their churches, see John G. Crowley, Primitive Baptists of the Wiregrass South: 1815 to the Present (Gainesville: University Press of Florida, 1998).

[^22]:    管
    

