



Greenville County Board of Zoning Appeals

(864) 467-7425

www.greenvillecounty.org

Meeting Minutes November 8, 2023

Board Members:

1. Barber, Teresa
2. Farrar, Brittany – Absent
3. Godfrey, Laura – Vice Chairwoman
4. Hamilton, Paul
5. Hattendorf, Mark – Chairman – Absent
6. Hollingshad, Nicholas
7. Roth, Michael
8. Shuman, Michelle
9. Akers, James – Absent

Staff Present:

- i. Joshua Henderson – Zoning Administrator
- ii. EJ Sherer – Planner I
- iii. Anna Wilson – Planner I
- iv. Erin England – Planner I
- v. George Sawadske – Sign Inspector/Reviewer

1. **Call to Order:** Chairman Godfrey called the meeting to order at approximately 3:00.

2. **Invocation/Pledge:** Conducted by Ms. Shuman.

3. **Roll Call:** Attendance was taken by Mr. Sherer.

4. **Approval of Minutes and Adoption of Final Decisions and Orders of October 11, 2023:**

Mr. Henderson requested the vote for Docket CB-2023-097 be held until December in order to give the applicant time to obtain written approval from their HOA to have a Home Business.

Ms. Barber made a motion to approve the minutes from the October 11, 2023 meeting with the exception of CB-2023-097 to be held until the December 3023 meeting. Mr. Roth seconded. The motion carried with a 5 – 0 vote. Dr. Hollingshad abstained.

Ms. Barber made a motion to adopt the Final Decisions and Orders from the October 11, 2023 meeting with the exception of CB-2023-097. Mr. Hamilton seconded. The motion carried with a 5 – 0 vote. Dr. Hollingshad abstained.

5. **Hearing Procedures/Regulations:** Chairman Godfrey provided an overview of procedures.

Ms. Wilson introduced the PowerPoint as an exhibit and stated the conditions under which decisions and rulings may be made by the Board of Zoning Appeals as outlined in the Greenville

County Zoning Ordinance.

6. New Business

i. **CB-2023-102, Sunday Bougher of SGA Design Group for Dayton Gocio of Walmart Real Estate Business Trust**

The property has access from Wade Hampton Blvd and Tappan Drive, and is located south of Rutherford Road and north of E Lee Road.

The applicant is requesting a variance to replace eleven existing signs and add two new signs. They currently have 528.73 square feet of signage, and are requesting a total of 505.89 square feet of signage, including the replacement signs and new signs. They are currently allowed 3 wall signs.

There are no prior applications before the BZA.

The representative present for this application was Sunday Bougher.

There was no opposition, present or submitted, to this application.

Staff presented and discussion ensued.

The applicant stated that due to the Wal-Mart renovations they are asking for a Variance to allow signage in proportion to their building and that the proposed signage will be a third the size of the existing signage and that due to section 5.4 relating to non-conforming signage they would be required to have a Variance in order to proceed as planned.

Mr. Hamilton made a motion to approve the Variance of eleven existing signs and add two new signs. Mr. Roth seconded the motion. The motion carried with a 6 – 0 vote.

ii. **CB-2023-105, Don Shuman of Greenville County Recreation for the County of Greenville**

This property is the site of the existing “Pavilion” of the Greenville County Recreation District. The property is located north and west of Hudson Road and southwest of the Brushy Creek Road and Old Spartanburg Road intersection.

The applicant is requesting a Use by Special Exception to allow for the construction of a shade structure, a maintenance building, and access routes with a parking lot renovation within the existing Pavilion Recreation Complex in the R-12, Single-Family Residential District.

Previous Dockets brought before the Board of Zoning Appeals were:

On August 9, 2000, the Board of Zoning Appeals made a motion to approve Docket CB-00-95 for a Special Exception to allow for construction of a miniature railroad track and station.

On March 11, 2009, the Board of Zoning Appeals made a motion to approve Docket CB-09-16 for a Special Exception to allow for site improvements including relocation of the dog

park and open space.

On February 14, 2018, the Board of Zoning Appeals made a motion to approve Docket CB-18-03 for a Special Exception to allow an addition/renovation to the Pavilion Recreation Complex with extension of the main entrance and addition of locker rooms.

On December 11, 2019, the Board of Zoning Appeals made a motion to approve Docket CB-19-58 for a Special Exception to allow an addition/renovation to the Pavilion Recreation Complex with extension of the main entrance and addition of locker rooms. This project was previously approved in 2018, but came back before the Board due to plan revisions.

The representative present for this application was Don Shuman.

There was no opposition, present or submitted, to this application.

Staff presented and discussion ensued.

The applicant stated they are looking to add a fabric structure near the entrance beside the trail and the playground with a 20x20 ft structure as well as a maintenance facility and some access improvements including sidewalk connectivity, ADA improvements, and resurfacing the parking lot.

Mr. Roth made a motion to approve the Use by Special Exception to allow for the construction of a shade structure, a maintenance building, and access routes with a parking lot renovation within the existing Pavilion Recreation Complex. Ms. Barber seconded the motion. The motion carried with a 6 – 0 vote.

iii. CB-2023-107, Steven T. Jackson of Hopewell United Methodist Church for Hopewell United Methodist Church Inc SC

This property is located north of New Harrison Bridge Road, west of Fairview Road, near the City of Simpsonville.

The applicant is requesting a Use by Special Exception to allow for an additional structure on the property.

Previous Dockets brought before the Board of Zoning Appeals were:

On April 10, 2013, the Board of Zoning Appeals approved Docket CB-13-21 for a Use by Special Exception for a building on site for classroom use.

On July 7, 2015, Docket CB-15-17 requesting a Special Exception for a communications tower was withdrawn in order for the applicant to address neighborhood concerns.

The representative present for this application was Steven Jackson.

There was no opposition, present or submitted, to this application.

Staff presented and discussion ensued.

The applicant stated they are looking to establish a storage shed on the property for the purpose of storing items for foster families and any expansion of a commercial use in a residential zone requires a Use by Special Exception to be granted.

Mr. Hamilton made a motion to approve a Use by Special Exception to allow for an additional structure on the property. Mr. Roth seconded the motion. The motion carried with a 6 – 0 vote.

iv. CB-2023-108, Carson McKenzie Barcklow of St. Clair Signs for Mike Meadows

The property is located off the intersection of Woodruff Road and Interstate 85, near the City of Greenville.

The applicant is requesting a Variance to encroach 10 ft. into the 10 ft. setback for a freestanding pylon sign.

Previous Dockets brought before the Board of Zoning Appeals were:

On July 24, 1993, the Board of Zoning Appeals made a motion to uphold the decision of Zoning Administration, denying the request of Docket CB-93-79 to appeal the decision to bring the signs on the property into compliance with the Sign Ordinance.

On November 10, 1993, the Board of Zoning Appeals made a motion to deny Docket CB-93-116 for a rear setback Variance of 15 ft. instead of the required setback of 20 ft.

On March 9, 1994, the Board of Zoning Appeals made a motion to overturn the decision of Zoning Administration, approving the request of Docket CB-94-27 to appeal the decision that the La Quinta billboard permits were null and void due to unpaid fees.

The representative present for this application was Carson Barcklow.

There was no opposition, present or submitted, to this application.

Staff presented and discussion ensued.

The applicant stated there was a pylon sign on the location previously that had since fallen and their company is contracted to replace it. They additionally stated that due to the expansion of the Hwy 385 exit ramp, the right of way was changed and increased the setback requirement. The applicant stated the sign would be located outside of the DOT right-of-way and plan to encroach no more than 7 feet into the required 10' setback.

Mr. Hamilton made a motion to approve a Variance to encroach 7 ft. into the required 10 ft. setback for a freestanding pylon sign as well as a Variance for the sign to be located 11.7 into the 35 foot requirement of the Sign Ordinance. Ms. Barber seconded the motion. The motion carried with a 6 – 0 vote.

v. CB-2023-109, Mike Jones of Weston and Sampson for Renewable Water Resources

This property is located north of New Harrison Bridge Road, south of Rocky Creek Road, and southeast of the W Georgia Rd and Fork Shoals Road intersection.

The applicant is requesting a Use by Special Exception for the public utility to construct a storage building on site.

Previous Dockets brought before the Board of Zoning Appeals were:

On April 8, 1998, the Board of Zoning Appeals approved Docket CB-98-42 for a Use by Special Exception to allow construction of additions to the wastewater treatment facility.

On September 15, 2004, the Board of Zoning Appeals approved Docket CB-04-72 for a Use by Special Exception to allow construction of additions to the wastewater treatment facility.

On August 8, 2018, the Board of Zoning Appeals approved Docket CB-18-31 for a Use by Special Exception to allow construction of additions to the wastewater treatment facility.

On November 9, 2022, the Board of Zoning Appeals approved Docket CB-22-72 for a Use by Special Exception to allow the construction of a fine screen structure on site.

On January 11, 2023, the Board of Zoning Appeals approved Docket CB-23-06 for a Special Exception for a public utility to add a storage building.

The representative present for this application was Mike Jones.

There was no opposition, present or submitted, to this application.

Staff presented and discussion ensued.

The applicant stated they had been granted a Use by Special Exception for the construction of a storage building in January of 2023, but due to a change in location as well as a change in the dimensions of the storage building they were required to come back before the Board.

Mr. Roth made a motion to grant the Use by Special Exception for the public utility to construct a storage building on site. Ms. Barber seconded the motion. The motion carried with a 6 – 0 vote.

vi. CB-2023-111, Paul J. Harrison of Bluewater Civil Design, LLC for Mauldin Road Storage Partners, LLC

The property is located on Mauldin Road, southeast of the intersection of Mauldin Road and S. Pleasantburg Drive, near the City of Greenville.

The applicant is requesting a Variance for a 25' encroachment into the 25' front setback for a 30' section of the front property line.

There is a 25' by 30' section along the front property line that was purchased by SCDOT in 1994 for the installation of a storm drainage pipe. SCDOT is not able to relinquish this easement since the purchase of this easement was funded by interstate funds.

There are no prior applications before the BZA.

The representative present for this application was Paul Harrison.

There was no opposition, present or submitted, to this application.

Staff presented and discussion ensued.

The applicant stated the Variance request is for a 30' length in order to have a 0' front setback instead of having to cut into the building to comply with the setback.

Dr. Hollingshad made a motion to grant the Variance for a 25' encroachment into the 25' front setback for a 30' section of the front property line. Ms. Shuman seconded the motion. The motion carried with a 6 – 0 vote.

vii. CB-2023-112, John L. Powell

The property is located northeast of the intersection of White Horse Road and Anderson Road, west of the City of Greenville.

The applicant is requesting a Variance to encroach 3.5' into the required 5' rear setback and 3.6' into the required 5' left side setback for continued construction of an expansion of an existing nonconforming accessory structure.

There are no prior applications before the BZA.

The representative present for this application was John Powell.

There was no opposition, present or submitted, to this application.

Staff presented and discussion ensued.

The applicant stated the garage was preexisting and was located in the setback prior to his beginning construction to expand and was not made aware of any issues with the setback by the chosen contractor until alerted to an issue by the neighbor. The applicant additionally stated they expanded vertically versus expanding the horizontal footprint.

Ms. Barber made a motion to approve a Variance to encroach 3.5' into the required 5' rear setback and 3.6' into the required 5' left side setback for continued construction of an expansion of an existing nonconforming accessory structure based on the site plan as submitted. Mr. Hamilton seconded the motion. The motion carried with a 6 – 0 vote.

viii. CB-2023-113, Zachary D. Johnson of Gray Engineering Consultants for Savings Carolina Division

The property is located on Wade Hampton Boulevard, southwest of the intersection of Wade Hampton Boulevard and W Main Street in Taylors, SC.

The applicant is requesting a Variance to encroach 25' into the required 25' front setback for the existing building.

There are no prior applications before the BZA.

The representative present for this application was Ethan Neida.

There was no opposition, present or submitted, to this application.

Staff presented and discussion ensued.

The applicant stated the building has been vacant for more than six months and prior to any new tenants applying for a Certificate of Occupancy they would be required to bring the existing building into compliance through the granting of a Variance.

Dr. Hollingshad made a motion to hold the Docket in order to allow the applicant time to gather more information. Mr. Roth seconded the motion. The motion carried with a 6 – 0 vote.

ix. CB-2023-114, G. Scott Kilgore of Radium Architecture for Alston Wilkes Association

The property is located northeast of the intersection of Rutherford Road and N. Pleasantburg Drive, near the City of Greenville.

The applicant is requesting a Variance for an existing non-conforming structure to encroach 13' 9" and 5' 1 ½" into the required 25' side setbacks.

There are no prior applications before the BZA.

The representatives present for this application were G. Scott Kilgore and Chris Loewer.

There was no opposition, present or submitted, to this application.

Staff presented and discussion ensued.

The applicant stated the building is existing non-conforming and in order to add ADA improvements to the building they would be required to bring the existing building into compliance. They additionally stated the planned use for the building is to house and assist homeless Veterans to re-integrate with the community.

Mr. Hamilton made a motion to approve the Variance for an existing non-conforming structure to encroach 13' 9" and 5' 1 ½" into the required 25' side setbacks. Ms. Barber seconded the motion. The motion carried with a 6 – 0 vote.

7. Announcements/Requests

Acting Chairman Godfrey asked for any announcements or requests.

Mr. Henderson explained a proposed initiated Text Amendment that went before Council earlier this week regarding required parking for amenity areas as well an update on a memo to council to request an amendment to the requirement for the locations of accessory structures.

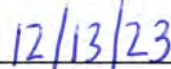
Ms. Godfrey announced it would be Dr. Hollingshad's last meeting due to his term expiring.

8. Adjournment

Acting Chairman Godfrey made a motion to adjourn the meeting. Ms. Barber seconded. The motion carried unanimously.



Mark Hattendorf, Chairman
Board of Zoning Appeals



DATE



Joshua Henderson, Zoning Administrator

GREENVILLE COUNTY BOARD OF ZONING APPEALS

November 8, 2023
PUBLIC HEARING

301 University Ridge
North Building Committee Meeting Room
3:00 p.m.

Use by Special Exception Considerations

Section 11:1 of the Greenville County Zoning Ordinance states the Board may grant permission for those uses which are in accordance with the following conditions:

- A. The use meets all required conditions;
- B. The use is not detrimental to the public health or general welfare;
- C. The use is appropriately located with respect to transportation facilities, water supply, fire and police protection, waste disposal, and similar services;
- D. The use will not violate neighborhood character nor adversely affect surrounding land uses.

Variance Considerations

Section 3:4.1 of the Greenville County Zoning Ordinance states that a variance may be granted if the Board makes and explains the following findings:

- A. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
- B. These conditions do not generally apply to other property in the vicinity;
- C. Because of the conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; *and*
- D. The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

CB-2023-102

Applicant:	Sunday Bougher of SGA Design Group for Dayton Gocio of Walmart Real Estate Business Trust.
Project Type:	Variance
Address:	3027 Wade Hampton Blvd., Greenville, SC 29687
Zoning:	C-2, Commercial District
Posting:	Confirmed 10/24/23

CB-2023-102: Request

The property has access from Wade Hampton Blvd and Tappan Drive, and is located south of Rutherford Road and north of E Lee Road.

The applicant is requesting a Variance to replace eleven existing signs and add two new signs. They currently have 528.73 square feet of signage, and are requesting a total of 505.89 square feet of signage, including the replacement signs and new signs. They are currently allowed 3 wall signs.

There are no prior applications before the BZA.

CB-2023-102: Sign Variance

Sign Ordinance, Section 8.4.1 Requirements for Specific Sign Types, Wall Signs;

- A. Wall sign copy area shall not exceed twenty (20) percent of the useable building wall area onto which such a sign is attached. Additionally, such signs shall not exceed two-hundred and twenty-five (225) square feet in size.

Sign Ordinance, Section 8.5.2 Business Use Areas;

The Business Use Area shall be defined as any property whose primary use is neither single family residential or multi-family residential and is not a Special Use Area.

- A. Except for Sites with multiple street fronts, no business use area shall be permitted more than three (3) permitted signs total.
- D. Signs in Business Use Areas shall be permitted in accordance with the standards in Table 19.8(b) and listed in this subsection.

CB-2023-102: Sign Variance

Table 19.8(b): Business Use Area Sign Regulations

Sign Type	Number (Maximum combination of all Signs regardless of type)	Size	Height
Freestanding	One per street front	In accordance with Section 19.8.5	In accordance with Section 19.8.5.2(c)
Wall	Up to 3	20% of usable wall area 225 sq. ft. maximum	Not above roof line
Window	Up to 3	20% of window area 225 sq. ft maximum	Not above roof line
Attached Canopy	Up to 3	20% of usable wall area 225 sq. ft. maximum	Not above roof line
Detached Canopy	Up to 3	20% of canopy face 225 sq. ft maximum	Not above roof line
Awning	Up to 3	20% of usable wall area 225 sq. ft. maximum	Not above roof line
Under Canopy/ Awning	Up to 3	4 sq. ft.	Minimum 7' vertical clearance
Projecting	Up to 3	8 sq. ft.	Not above roof line
Marquee	Up to 3	1 sq. ft. per linear foot frontage 225 sq. ft. maximum	Not above roof line

CB-2023-102: Variance Considerations

Section 3:4.1 of the Greenville County Zoning Ordinance states that a variance may be granted if the Board makes and explains the following findings:

- A. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
- B. These conditions do not generally apply to other property in the vicinity;
- C. Because of the conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; *and*
- D. The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

CB-2023-102: Site Plan

COLOR LEGEND	
FM	COLOR NAME
FSE	SAFETY YELLOW
F31E	RED
F32E	CREAM
F33E	BLACK
F34E	DARK GRAY
F35E	SILVER/SLUR (LIVE PAINT)
F13E	LIGHT GRAY
F15E	MEDIUM GRAY
F16E	BLACK GRAY
F22E	DURAWOOD BRONZE SW #234

- ### SHEET NOTES
- PATCH AND REPAIR EXTERIOR WALL SURFACES DAMAGED OR EXPOSED DUE TO REMOVAL OF SIGN MOUNTED ITEMS. TO MATCH ADJACENT AS REQUIRED. REFER TO ITEM 10 ON SHEET 1 FOR DETAILED AND FINISH REQUIREMENTS AT LOCATIONS OF BUILDING MOUNTED SIGNS.
 - RESURFACE EXISTING EPDS (WHERE SHOWN HATCHED AREA).
 - NOT USED.
 - PRIME TO PAINTING WALL AT LOCATIONS OF LIT/LOGO SIGN(S). COORDINATE SCOPE OF WORK WITH WALKWAY CM.
 - PAINT FGJ ADJACENT WALLS PAINT FRAMES AND LOGO/CANOPY, EXPOSED METAL FLASHING, HANDRAILS, AND OTHERS REGULARLY. SEE 12 MATCH PRIMARY ADJACENT BUILDING COLOR AND.
 - PAINT AN EXISTING CANOPY (SEE:
 - WHERE EXISTING WALL IS BEING PAINTED, USE ANVY ALONG SIDE WALL TO INSURE WALL MATCH ADJACENT BUILDING.
 - DO NOT PAINT VERTICAL VALUES.
 - PAINT FGJ ADJACENT WALLS PAINT CANOPY STRUCTURAL STEEL AND FLASHING TO MATCH ADJACENT WALL AND.
 - WHERE CANOPIES ARE VISIBLE TO AND ACCESSED BY CUSTOMERS, PAINT UNDERSIDE OF CANOPY DECK (SPEC DO NOT PAVE CANOPY DECK IF NOT PREVIOUSLY PAINTED).
 - PAINT ALL EXTERIOR ENTRY BOLLARDS TO MATCH EXISTING COLOR (UNLESS NOTED TO RECEIVE PLASTIC BOLLARDS BELOW).
 - NOT USED.
 - DO NOT PAINT LIT WALL PARCH HOUSINGS.
 - PAINT (SPOON) CENTER FENCE STEEL DOORS AND FINISH F33E.
 - NOT USED.
 - DO NOT PAINT QUARRY BRK, STONE VENEER, FACE BRICK, OR BRICKS (1) 1/2" MIN OR PRECAST PANELS.
 - AT MASONRY LOCATIONS WHERE SIGNS ARE BEING MOUNTED, REMOVE WALL FINISH AND REPAIR WITH 10" MATCH EXISTING COLOR, RES. SPEC BRCK.
 - PAINT ALL STAKE POSE, ON IS BLOCK, F33E, CM HANDRAILS.
 - PAINT DRINKER VALVES (SEE:
 - DO NOT PAINT OVER SIGHT GLASS ON FIRE ALARM BELL.



8 AUTO CENTER FRONT ELEVATION
1" = 20'-0"



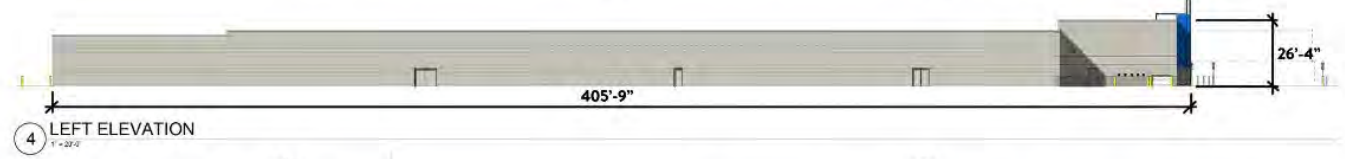
7 SEASONAL SHOP REAR ELEVATION
1" = 20'-0"



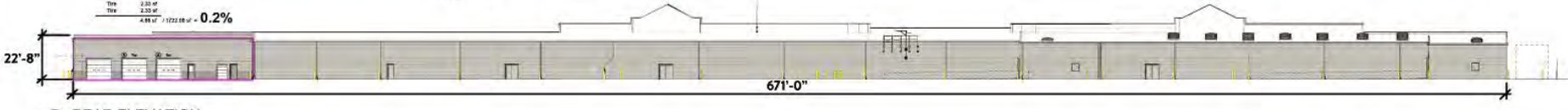
6 VESTIBULE SIDE ELEVATION
1" = 10'-0"



5 VESTIBULE SIDE ELEVATION
1" = 10'-0"



4 LEFT ELEVATION
1" = 20'-0"



3 REAR ELEVATION
1" = 20'-0"

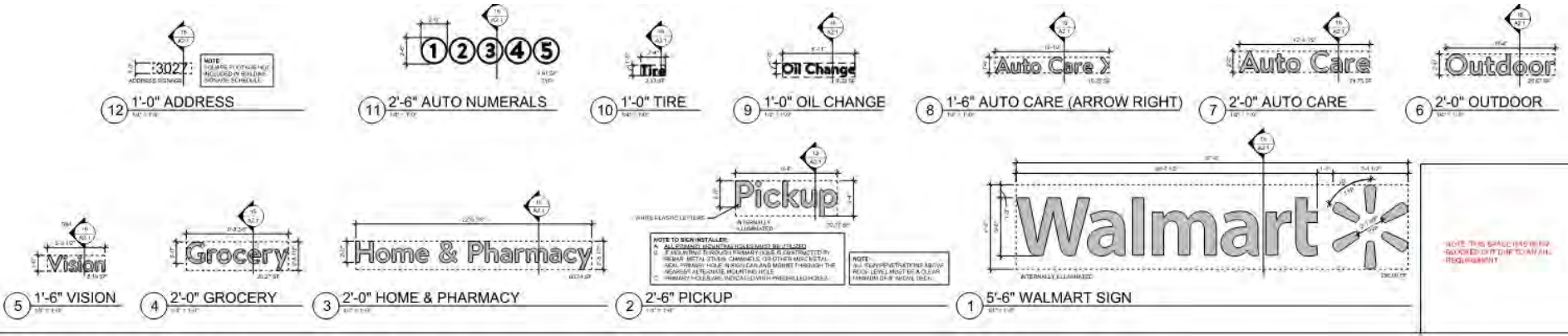


2 RIGHT ELEVATION
1" = 20'-0"



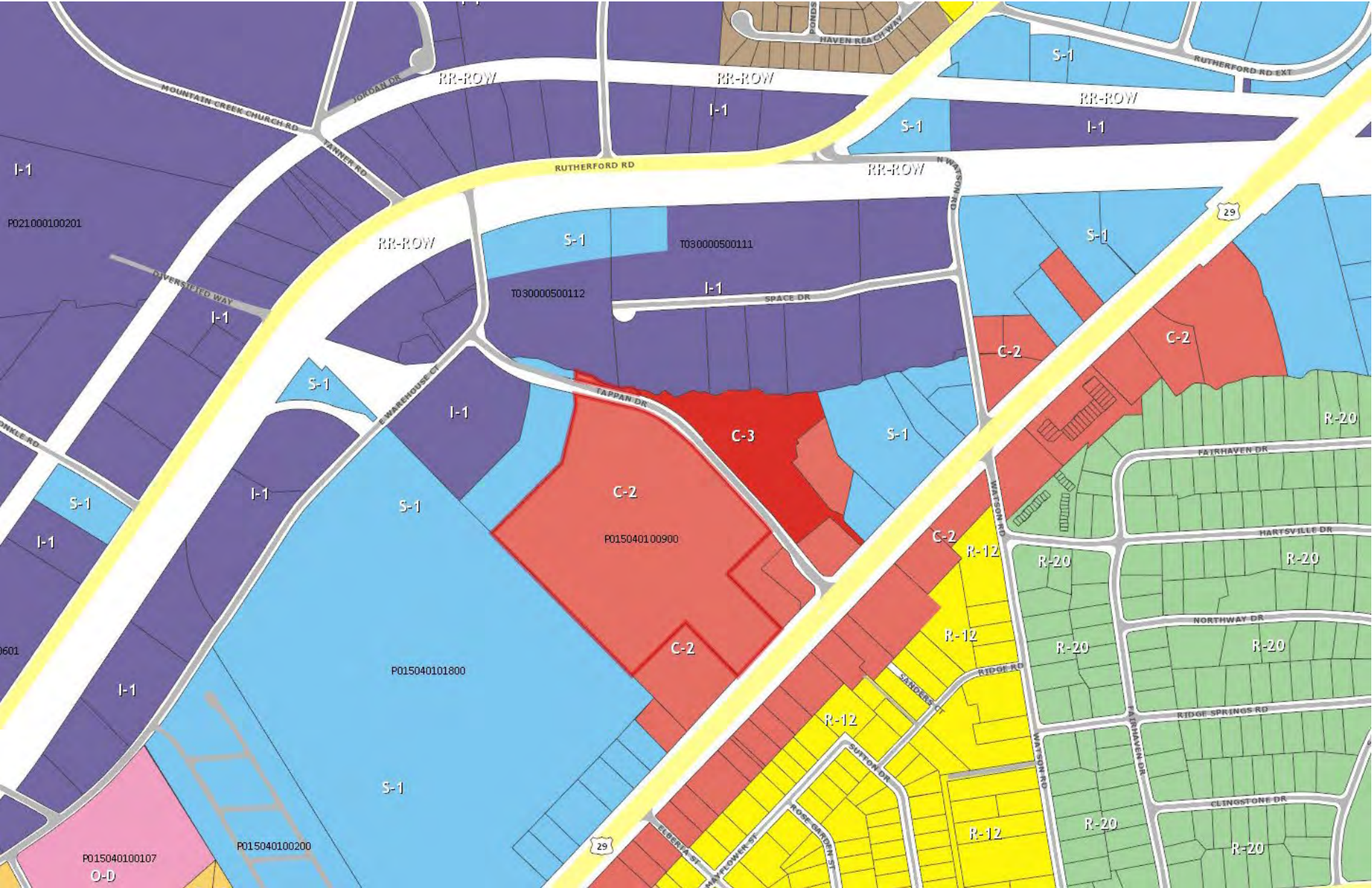
1 FRONT ELEVATION
1" = 20'-0"

CB-2023-102: Site Plan



EXISTING SIGNAGE SCHEDULE							NEW SIGNAGE SCHEDULE						
SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)	SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
FRONT SIGNAGE							FRONT SIGNAGE						
Walmart *(Spark)	1	LED	WHITE/YELLOW	5'-6"	298.00 SF	298.00 SF	Walmart *(Spark)	1	N/A	WHITE/YELLOW	5'-6"	298.00 SF	298.00 SF
* (SPARK) Pickup	1	LED	WHITE/YELLOW	2'-6"	48.67 SF	48.67 SF	Pickup	1	LED	WHITE	2'-6"	32.37 SF	32.37 SF
Grocery	1	N/A	WHITE	2'-0"	25.63 SF	25.63 SF	Grocery	1	N/A	WHITE	2'-0"	26.27 SF	26.27 SF
Home & Pharmacy	1	N/A	WHITE	2'-0"	61.85 SF	61.85 SF	Home & Pharmacy	1	N/A	WHITE	2'-0"	60.74 SF	60.74 SF
Outdoor Living	1	N/A	WHITE	2'-0"	49.47 SF	49.47 SF	Outdoor	1	N/A	WHITE	2'-0"	20.67 SF	20.67 SF
Auto Center >	1	N/A	WHITE	1'-6"	19.47 SF	19.47 SF	Auto Care >	1	N/A	WHITE	1'-6"	16.25 SF	16.25 SF
Address (3027)	1	N/A	WHITE	1'-0"	0.00 SF	0.00 SF	Vision	1	N/A	WHITE	1'-6"	8.19 SF	8.19 SF
FRONT SIGNAGE						503.09 SF	Address (3027)	1	N/A	BLACK	1'-0"	0.00 SF	0.00 SF
AUTO CENTER SIGNAGE							FRONT SIGNAGE						
Auto Center	1	N/A	WHITE	1'-6"	17.75 SF	17.75 SF							462.49 SF
Lube	1	N/A	WHITE	1'-0"	3.13 SF	3.13 SF	AUTO CENTER SIGNAGE						
Tire	2	N/A	WHITE	1'-0"	2.38 SF	4.76 SF	Auto Numerals	5	N/A	BLACK	2'-6"	4.91 SF	24.55 SF
AUTO CENTER SIGNAGE						25.64 SF	Auto Care	1	N/A	WHITE	2'-0"	24.75 SF	24.75 SF
TOTAL BUILDING SIGNAGE						528.73 SF	Oil Change	1	N/A	BLACK	1'-0"	9.33 SF	9.33 SF
							Tire	4	N/A	BLACK	1'-0"	2.33 SF	9.32 SF
							AUTO CENTER SIGNAGE						
													67.95 SF
							TOTAL BUILDING SIGNAGE						
													530.44 SF

CB-2023-102: Zoning Map



CB-2023-102: Aerial Map



CB-2023-102 Photos



Subject



Subject



Southeast of Subject



Southwest of Subject

CB-2023-105

- Applicant:** Don Shuman of Greenville County Recreation for the County of Greenville
- Project Type:** Use by Special Exception
- Address:** 400 Scottswood Rd., Taylors, SC 29687
- Zoning:** R-12, Single Family Residential District
- Posting:** Confirmed 10/24/23

CB-2023-105 Request

This property is the site of the existing “Pavilion” of the Greenville County Recreation District. The property is located north and west of Hudson Road and southwest of the Brushy Creek Road and Old Spartanburg Road intersection.

The applicant is requesting a Use by Special Exception to allow for the construction of a shade structure, a maintenance building, and access routes with a parking lot renovation within the existing Pavilion Recreation Complex in the R-12, Single-Family Residential District.

CB-2023-105 Request

Previous Dockets brought before the Board of Zoning Appeals were:

On August 9, 2000, the Board of Zoning Appeals made a motion to approve Docket CB-00-95 for a Special Exception to allow for construction of a miniature railroad track and station.

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On February 14, 2018, the Board of Zoning Appeals made a motion to approve Docket CB-18-03 for a Special Exception to allow an addition/renovation to the Pavilion Recreation Complex with extension of the main entrance and addition of locker rooms.

On December 11, 2019, the Board of Zoning Appeals made a motion to approve Docket CB-19-58 for a Special Exception to allow an addition/renovation to the Pavilion Recreation Complex with extension of the main entrance and addition of locker rooms. This project was previously approved in 2018, but came back before the Board due to plan revisions.

CB-2023-105: Use by Special Exception Requirements

Section 5:5.1 and Table 6.1 (Uses Permitted, Uses by Special Exception and Conditional Uses) of the Greenville County Zoning Ordinance lists “Recreation – private/public/nonprofit” as a Use by Special Exception in the R-12, Single Family Residential District.

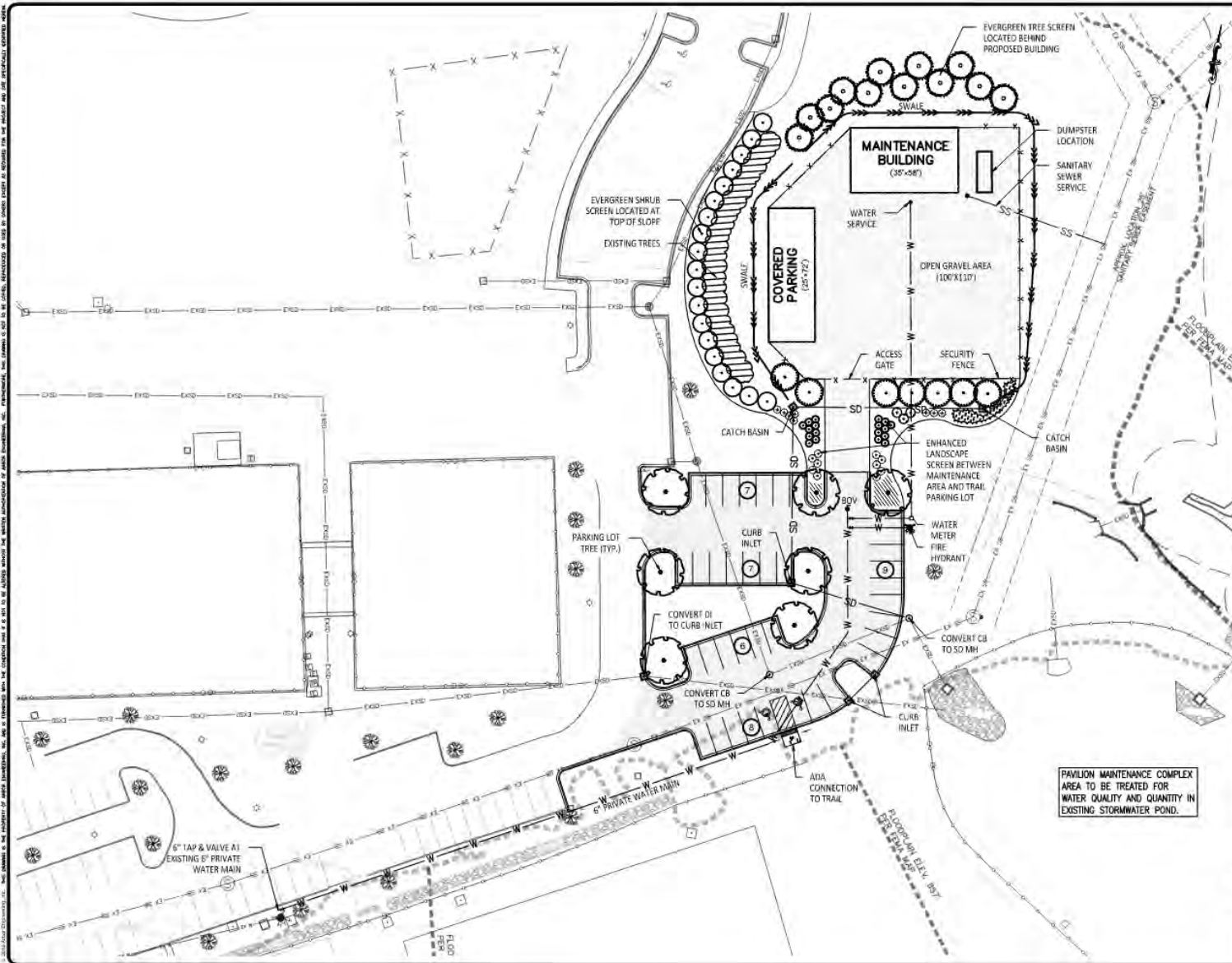
CB-2023-105: Use by Special Exception Considerations

Section 11:1 - General Provisions for Uses Permitted by Special Exception states:

“The Board of Zoning Appeals may grant permission for those uses permitted by special exception which are in accordance with the provisions of this Ordinance and the specific conditions set forth in this section.” The Board shall consider the following factors:

- A. The use meets all required conditions.
- B. The use is not detrimental to the public health or general welfare.
- C. The use is appropriately located with respect to transportation facilities, water supply, fire and police protection, waste disposal and similar services.
- D. The use will not violate neighborhood character nor adversely affect surrounding land uses.

CB-2023-105 Site Plan



REVISIONS		
NO.	DATE	DESCRIPTION

LEGEND

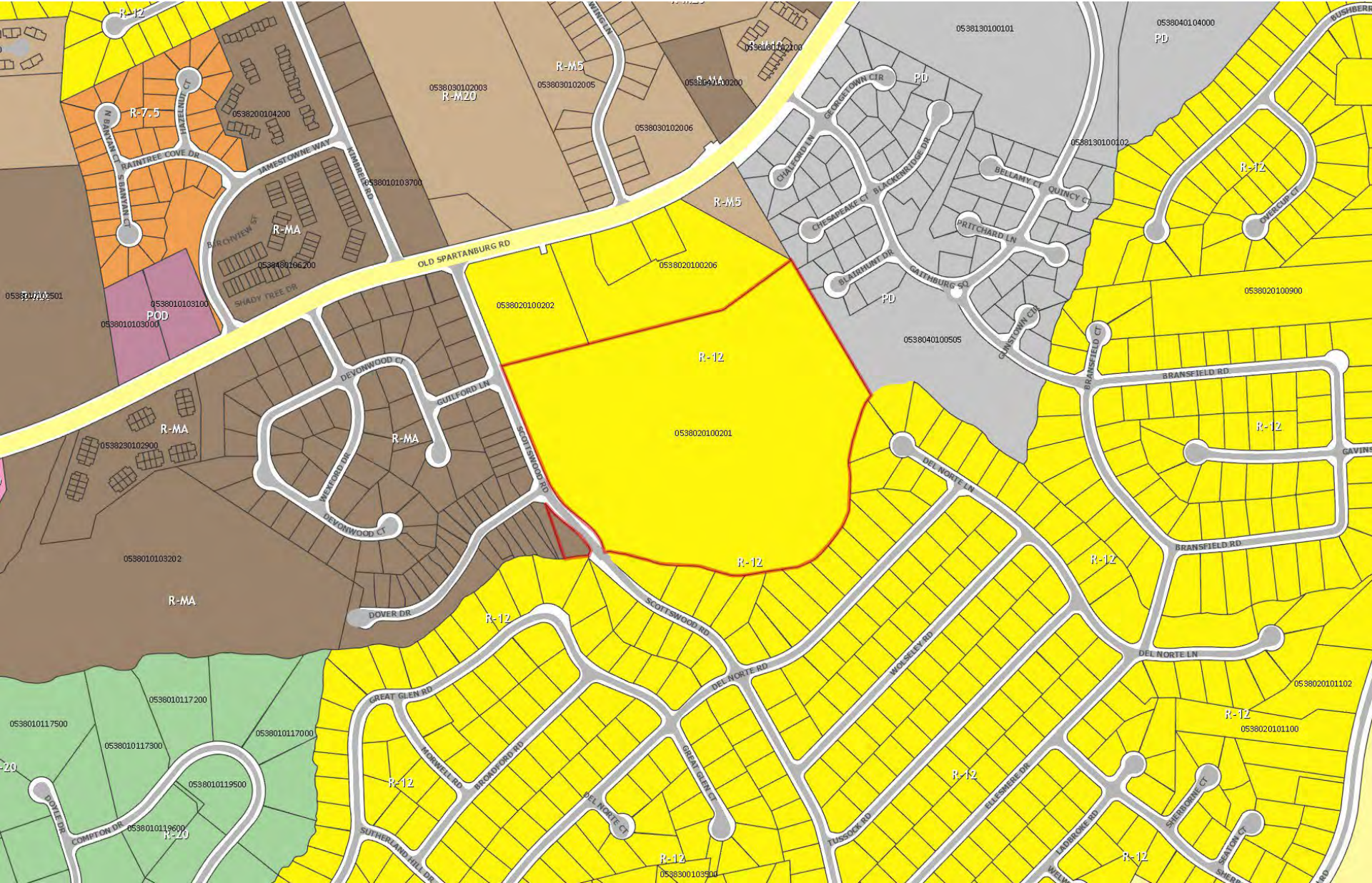
PRELIMINARY - NOT FOR CONSTRUCTION.

PAVILION MAINTENANCE COMPLEX
GREENVILLE CO SOUTH CAROLINA

CONCEPTUAL SITE PLAN

DATE: S1	FILE: 02.08.2023
SCALE: S1	PROJECT: 150
DESIGNED: SCA	DRAWN: SCA
SCALE: 1"=50'	PROJECT SCALE
PROJECT NO: 22273	
SHEET NO: EX-1	
1 of 1	

CB-2023-105: Zoning Map



CB-2023-105: Aerial Map



CB-2023-105 Photos



Subject



North of Subject



Subject Site Entrance



South of Subject

CB-2023-107

- Applicant:** Steven T. Jackson of Hopewell United Methodist Church for Hopewell United Methodist Church Inc SC
- Project Type:** Use by Special Exception
- Address:** 1420 Neely Ferry Rd., Simpsonville, SC 29680
- Zoning:** R-S, Residential Suburban District
- Posting:** Confirmed 10/24/23

CB-2023-107 Request

This property is located north of New Harrison Bridge Road, west of Fairview Road, near the City of Simpsonville.

The applicant is requesting a Use by Special Exception to allow for an additional structure on the property.

Previous Dockets brought before the Board of Zoning Appeals were:

On April 10, 2013, the Board of Zoning Appeals approved Docket CB-13-21 for a Use by Special Exception for a building on site for classroom use.

On July 7, 2015, Docket CB-15-17 requesting a Special Exception for a communications tower was withdrawn in order for the applicant to address neighborhood concerns.

CB-2023-107: Use By Special Exception

Section 5:4 and Table 6.1 (Uses Permitted, Uses by Special Exception and Conditional Uses) of the Greenville County Zoning Ordinance lists “Church” as a Use by Special Exception in the R-S, Residential Suburban District.

Section 11:1 - General Provisions for Uses Permitted by Special Exception states: “The Board of Zoning Appeals may grant permission for those uses permitted by special exception which are in accordance with the provisions of this Ordinance and the specific conditions set forth in this section.”

CB-2023-107: Church Requirements

Section 11:3 – Churches, states: "A church may be permitted in all residential districts subject to the requirements of the district and the following requirements":

Section 11.3.1- Lot Area - the minimum lot area shall be 40,000 square feet or 0.918 acres. The subject property consists of approximately 9.09 acres.

Section 11.3.2 - Setback Requirements - all buildings shall be setback from the front, side, and rear property lines a minimum of 50 feet. The new shed addition shown on plans meets this setback requirement.

Section 11.3.3 - Off-Street Parking: parking shall be provided in accordance with Section 12.2 and Table 12.1. The new shed is not increasing the assembly area.

11:3.4 Lighting: For lighting of horizontal tasks such as roadways, sidewalks, entrances and parking areas, fixtures shall meet IESNA "full-cutoff" (no light output above 90 degrees at any lateral angle around the fixture). Fixtures shall not be mounted in excess of 16 feet above finished grade. All other outdoor lighting such as floodlights and spotlights shall be aimed, located, designed, fitted and maintained so as not to present a hazard to drivers or pedestrians by impairing their ability to safely traverse and so as not to create a nuisance by projecting or reflecting objectionable light skyward, onto a neighboring property or onto a public roadway. Flashing lights are prohibited. Per the applicant, no new site lighting is proposed.

11:3.5 Screening and Buffering: Screening shall be provided in accordance with the provisions set forth in Section 12:9, Screening and Buffering Requirements. The property is well-screened with natural vegetation on the right side property line.

CB-2023-107: Use By Special Exception Considerations

Section 11:1 - General Provisions for Uses Permitted by Special Exception states:

“The Board of Zoning Appeals may grant permission for those uses permitted by special exception which are in accordance with the provisions of this Ordinance and the specific conditions set forth in this section.” The Board shall consider the following factors:

- A. The use meets all required conditions.
- B. The use is not detrimental to the public health or general welfare.
- C. The use is appropriately located with respect to transportation facilities, water supply, fire and police protection, waste disposal and similar services.
- D. The use will not violate neighborhood character nor adversely affect surrounding land uses.

CB-2023-107 Site Plan

TMS#0566020100814
 N/F Harms, Gary W Jr
 Deed Book 2661, Pg 1361
 Plat Book 46-Z, Pg 91

TMS#0566070101200
 N/F Martin, Charlene
 Deed Book 2460, Pg 223
 Plat Book 40-Z, Pg 58

TMS#0566070101100
 N/F Godlewski, Jeffery J
 Deed Book 2356, Pg 3715
 Plat Book 43-W, Pg 52

TMS#0566070100800
 N/F Copeland, Robyn
 Deed Book 2416, Pg 5677
 Plat Book 40-Z, Pg 58

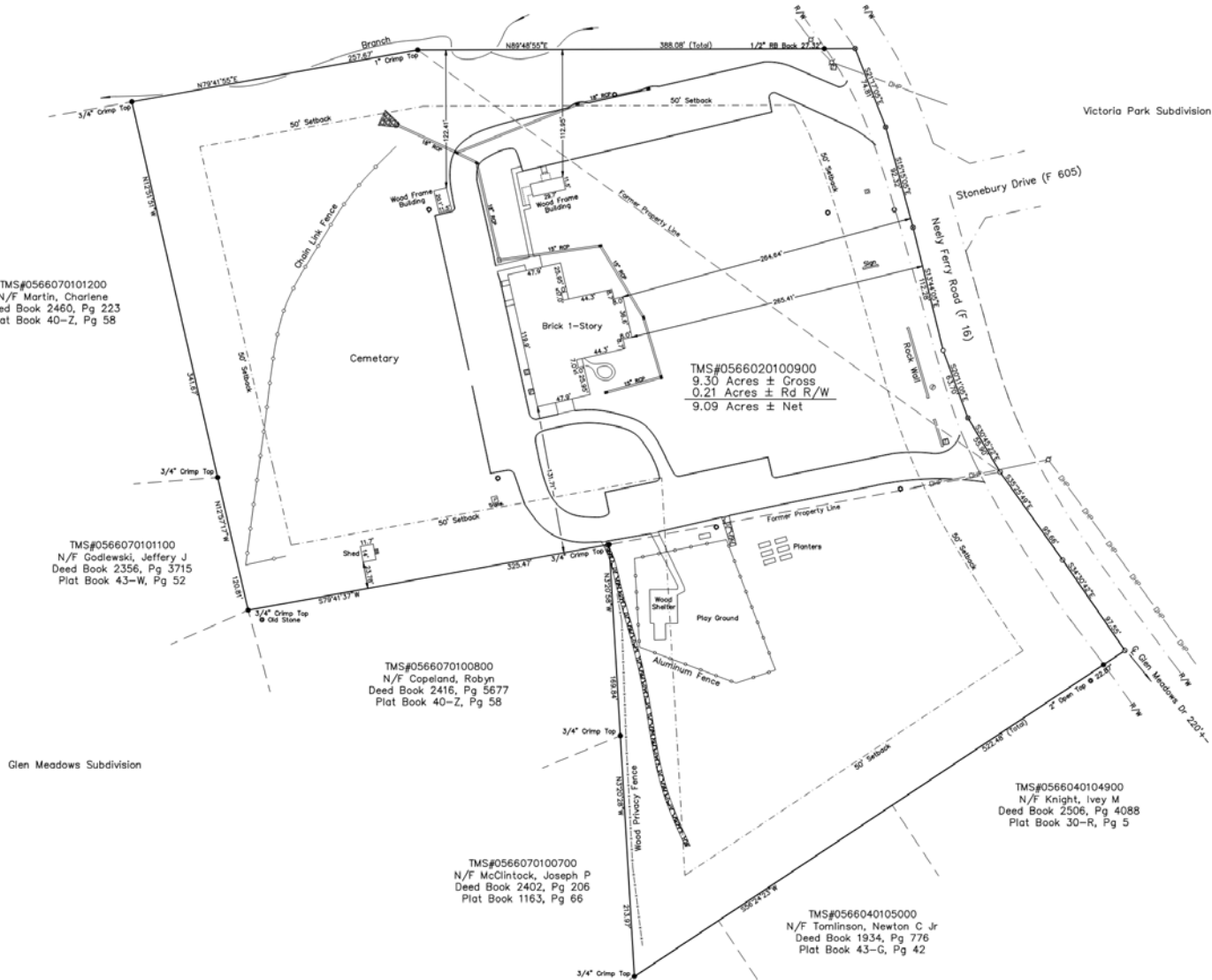
TMS#0566070100700
 N/F McClintock, Joseph P
 Deed Book 2402, Pg 206
 Plat Book 1163, Pg 66

TMS#0566020100900
 9.30 Acres ± Gross
 0.21 Acres ± Rd R/W
 9.09 Acres ± Net

TMS#0566040105000
 N/F Tomlinson, Newton C Jr
 Deed Book 1934, Pg 776
 Plat Book 43-G, Pg 42

TMS#0566040104900
 N/F Knight, Ivey M
 Deed Book 2506, Pg 4088
 Plat Book 30-R, Pg 5

TMS#0566040105100



Scale 1" = 100'

I hereby state that to the best of my knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein; also there

Address:
 1420 Neely Ferry Road
 Simpsonville, SC 29680

State of South Carolina
 County of Newberry
 Boundary Survey of T...
 Surveyed for Hopewell U...

CB-2023-107 Site Plan

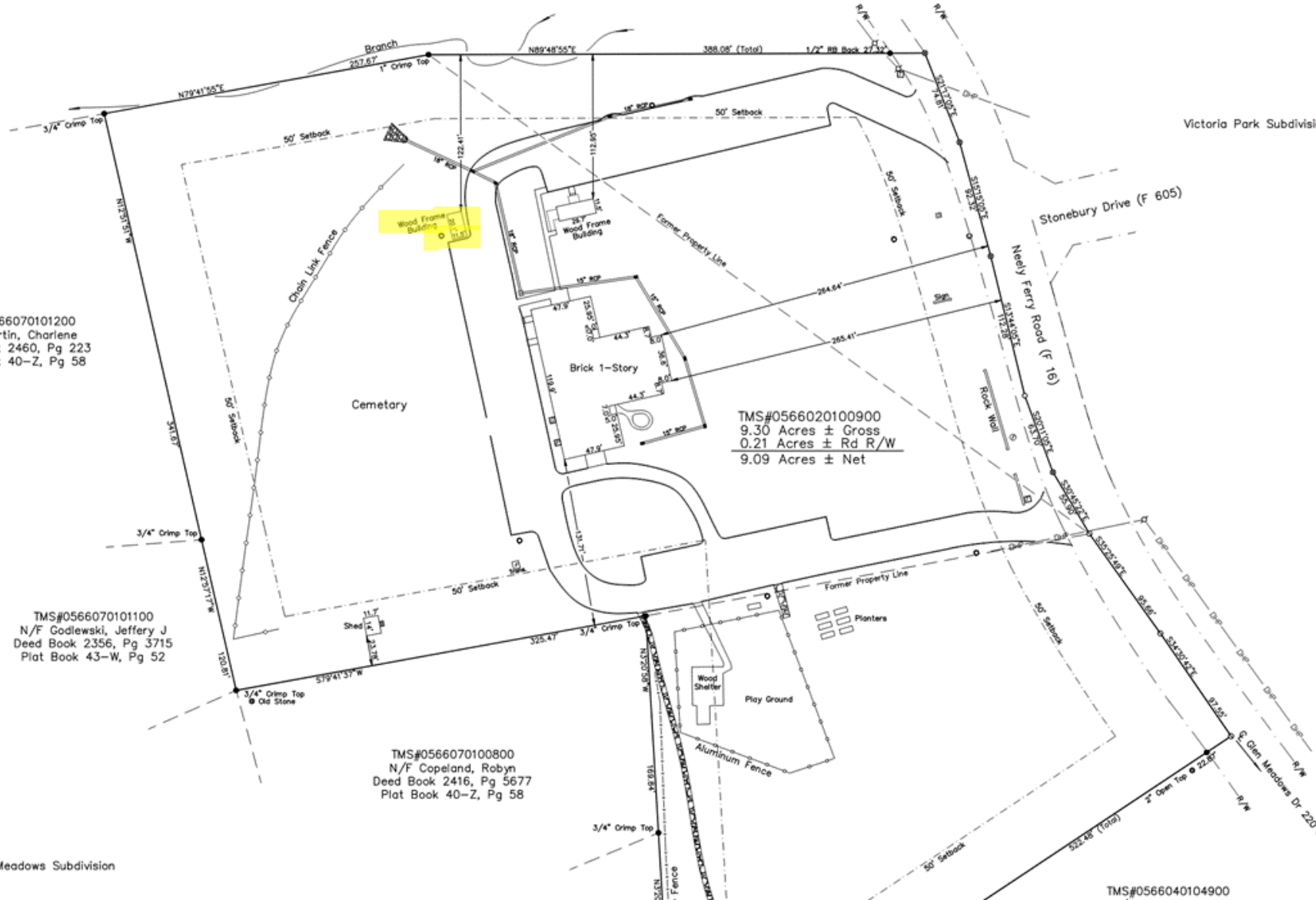
TMS#0566020100814
 N/F Harms, Gary W Jr
 Deed Book 2661, Pg 1361
 Plat Book 46-Z, Pg 91

TMS#0566070101200
 N/F Martin, Charlene
 Deed Book 2460, Pg 223
 Plat Book 40-Z, Pg 58

TMS#0566070101100
 N/F Godlewski, Jeffery J
 Deed Book 2356, Pg 3715
 Plat Book 43-W, Pg 52

TMS#0566070100800
 N/F Copeland, Robyn
 Deed Book 2416, Pg 5677
 Plat Book 40-Z, Pg 58

TMS#0566020100900
 9.30 Acres ± Gross
 0.21 Acres ± Rd R/W
 9.09 Acres ± Net

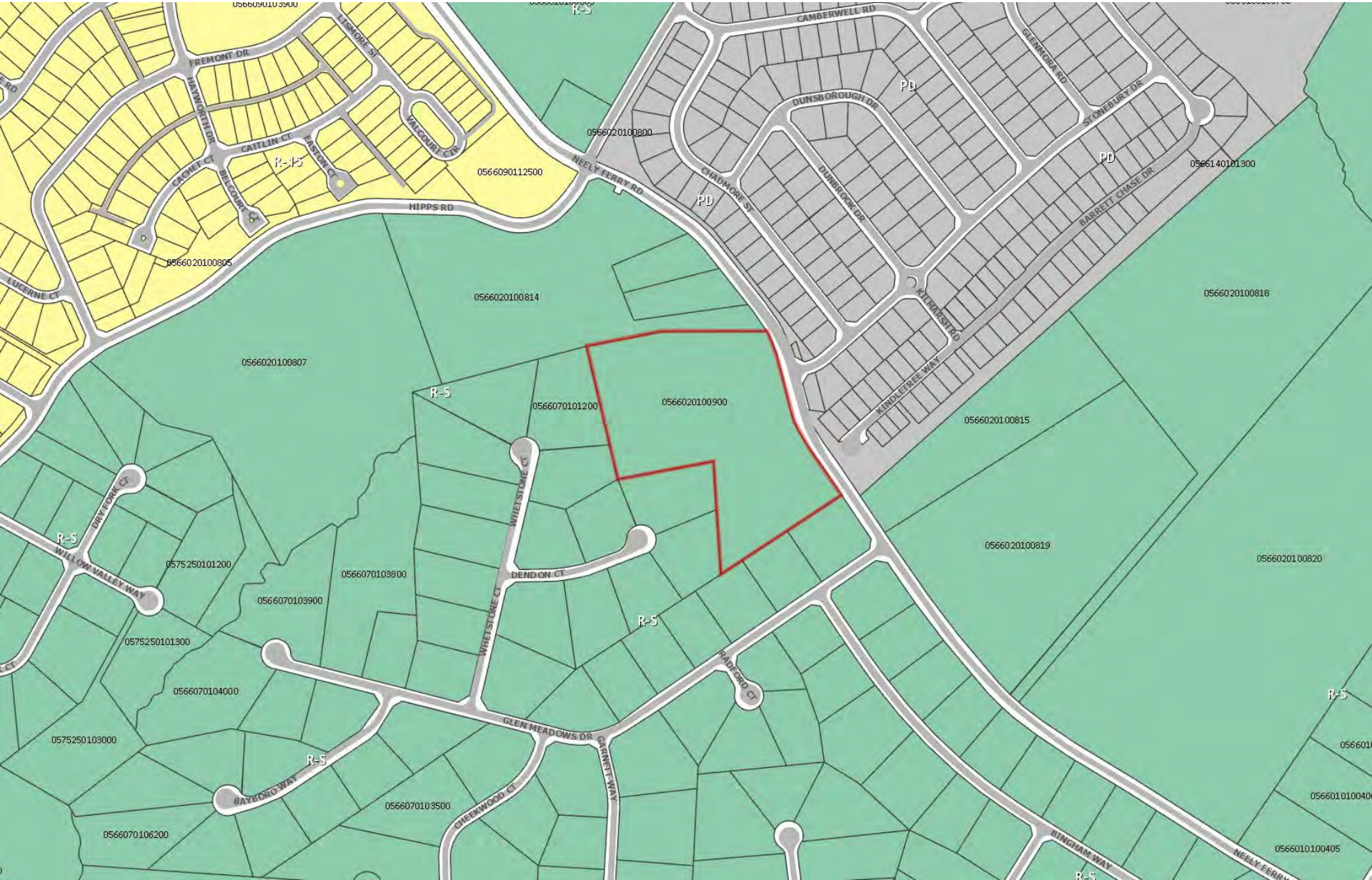


Victoria Park Subdivision

Glen Meadows Subdivision

TMS#0566040104900

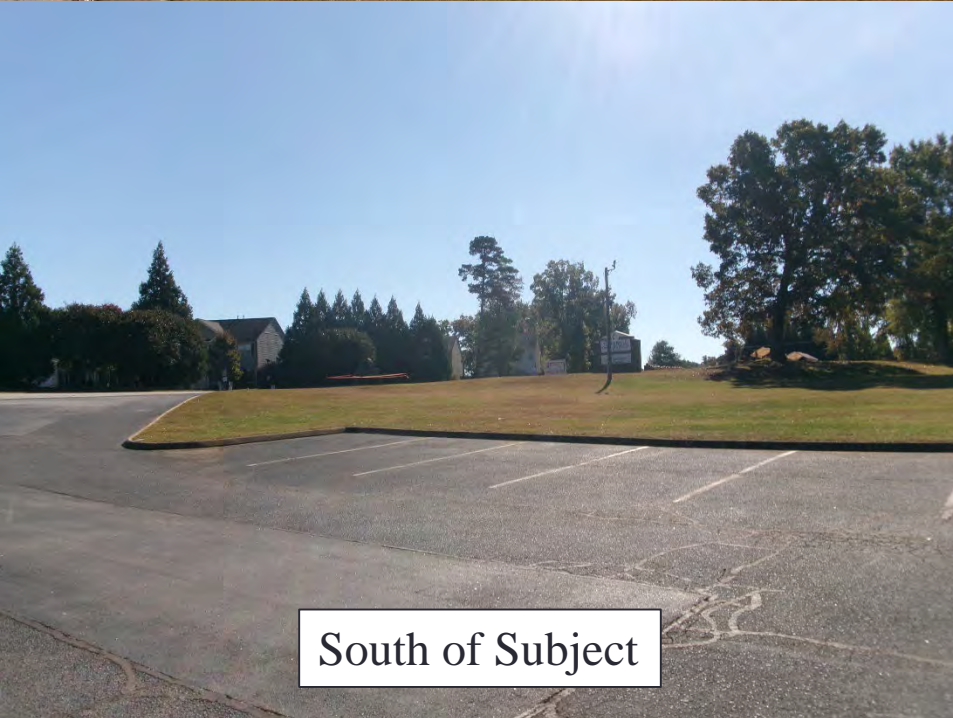
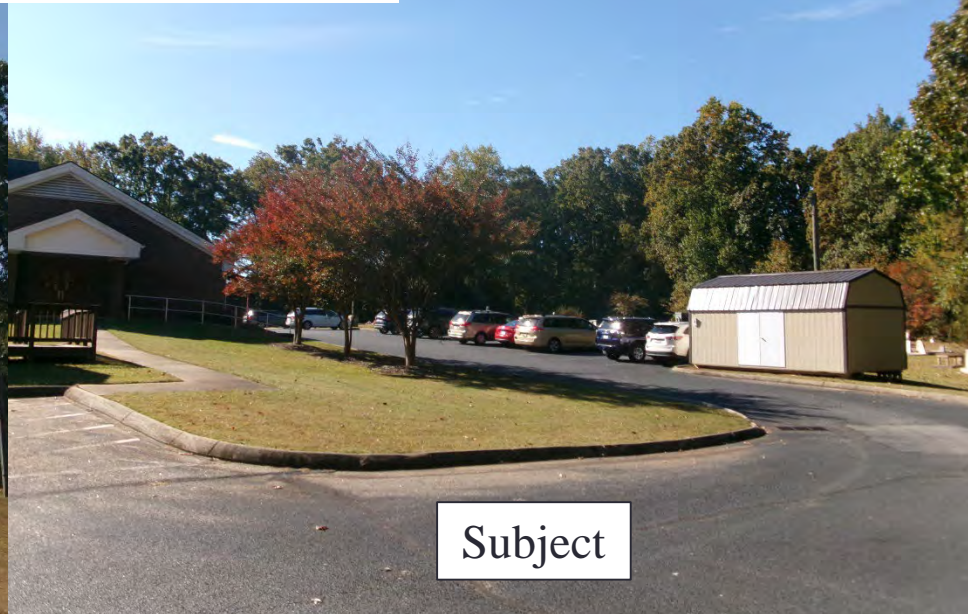
CB-2023-107: Zoning Map



CB-2023-107: Aerial Map



CB-2023-107 Photos



CB-2023-108

Applicant:	Carson McKenzie Barcklow of St. Clair Signs for Mike Meadows
Project Type:	Variance
Address:	41 Old County Rd., Greenville, SC 29607
Zoning:	C-2, Commercial District
Posting:	Confirmed 10/24/23

CB-2023-108: Request

The property is located off the intersection of Woodruff Road and Interstate 85, near the City of Greenville.

The applicant is requesting a Variance to encroach 10 ft. into the 10 ft. setback for a freestanding pylon sign. Upon review of the Greenville County Sign Ordinance, Staff realized that an additional Variance is necessary due to the proposed proximity to another existing free standing sign.

Previous Dockets brought before the Board of Zoning Appeals were:

On July 24, 1993, the Board of Zoning Appeals made a motion to uphold the decision of Zoning Administration, denying the request of Docket CB-93-79 to appeal the decision to bring the signs on the property into compliance with the Sign Ordinance.

On November 10, 1993, the Board of Zoning Appeals made a motion to deny Docket CB-93-116 for a rear setback Variance of 15 ft. instead of the required setback of 20 ft.

On March 9, 1994, the Board of Zoning Appeals made a motion to overturn the decision of Zoning Administration, approving the request of Docket CB-94-27 to appeal the decision that the La Quinta billboard permits were null and void due to unpaid fees.

CB-2023-108: Variance

Sign Ordinance, Article 5: General Provisions

5.1. Placement

5.1.1. Spacing

B. No freestanding sign shall be placed within a distance equal to its height to another permitted sign or structure.

5.1.4. Traffic Visibility

D. Setback. Ten (10) feet

1. Calculating Minimum Setback.

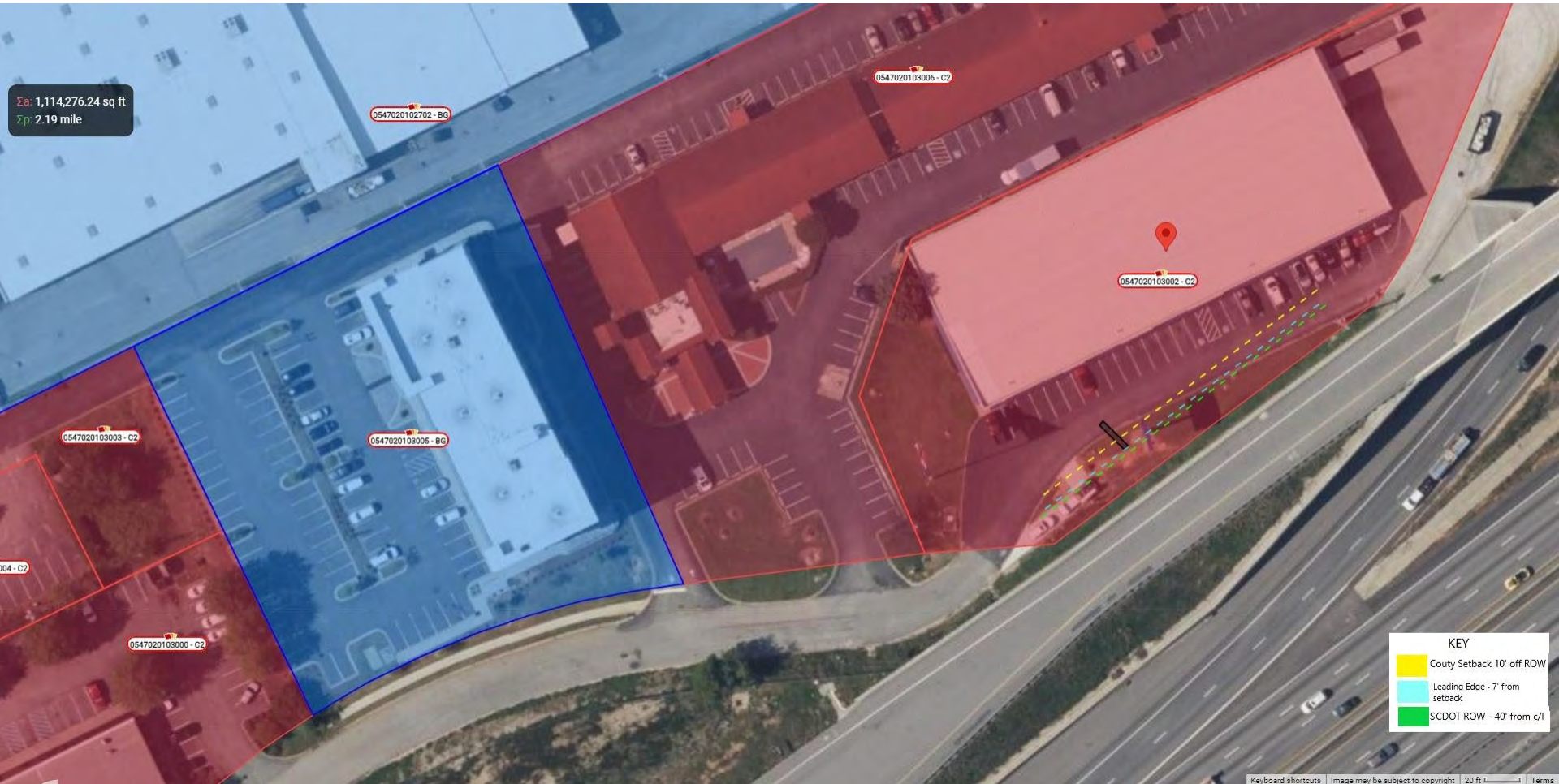
a. The minimum depth shall be measured from the property line, except that when a property line extends into the right-of-way area or a right-of-way has not been established or is not known, the setback shall be measured from the edge of the road pavement or back of the curb, if present.

CB-2023-108: Variance Considerations

Section 3:4.1 of the Greenville County Zoning Ordinance states that a variance may be granted if the Board makes and explains the following findings:

- A. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
- B. These conditions do not generally apply to other property in the vicinity;
- C. Because of the conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; *and*
- D. The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

CB-2023-108 Site Plan



Σ 1,114,276.24 sq ft
 Σ 2.19 mile

0547020102702 - BG

0547020103006 - C2

0547020103002 - C2

0547020103003 - C2

0547020103005 - BG

0547020103004 - C2

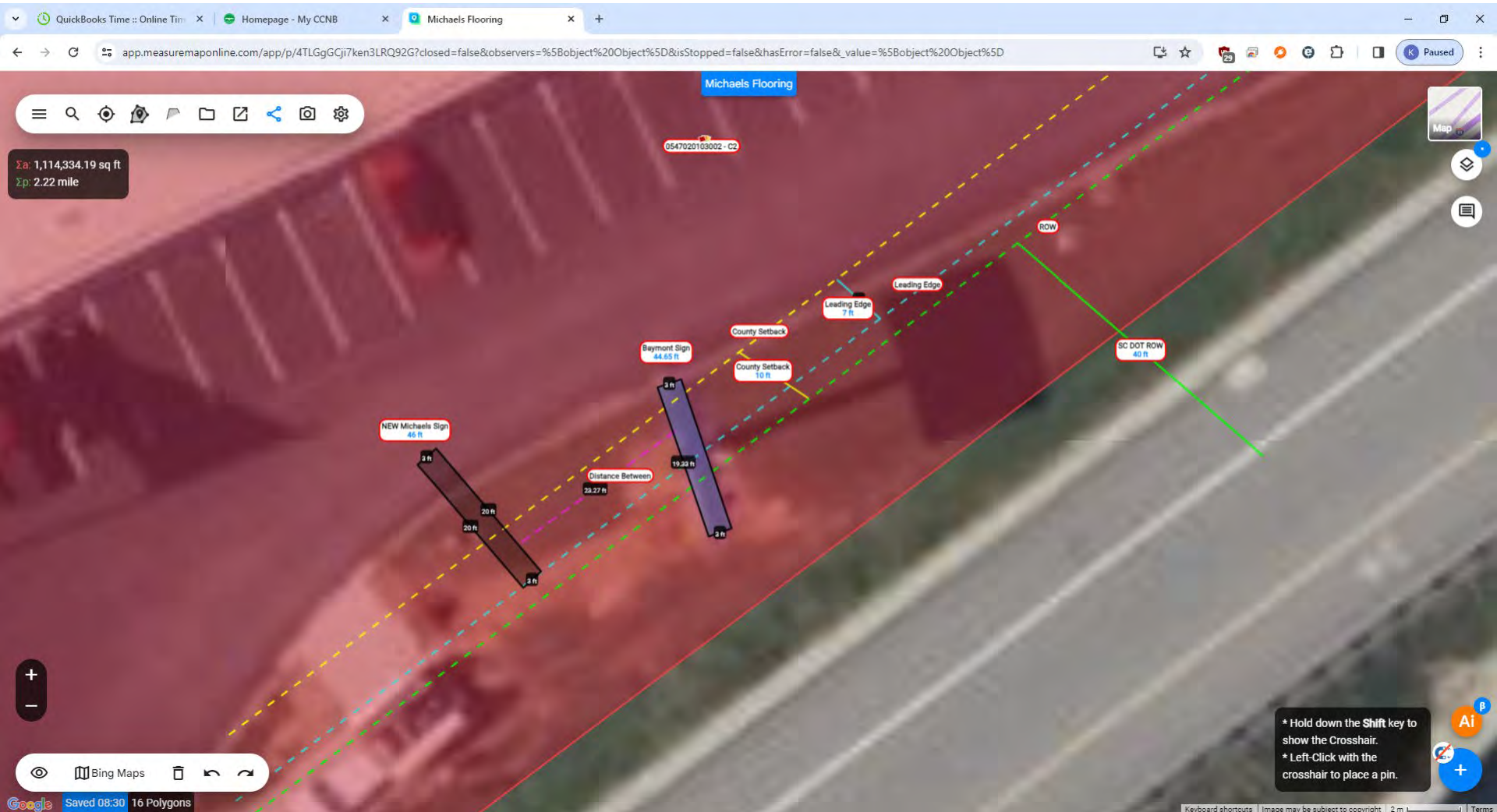
0547020103000 - C2

KEY	
	County Setback 10' off ROW
	Leading Edge - 7' from setback
	SCDOT ROW - 40' from c/l

CB-2023-108 Site Plan



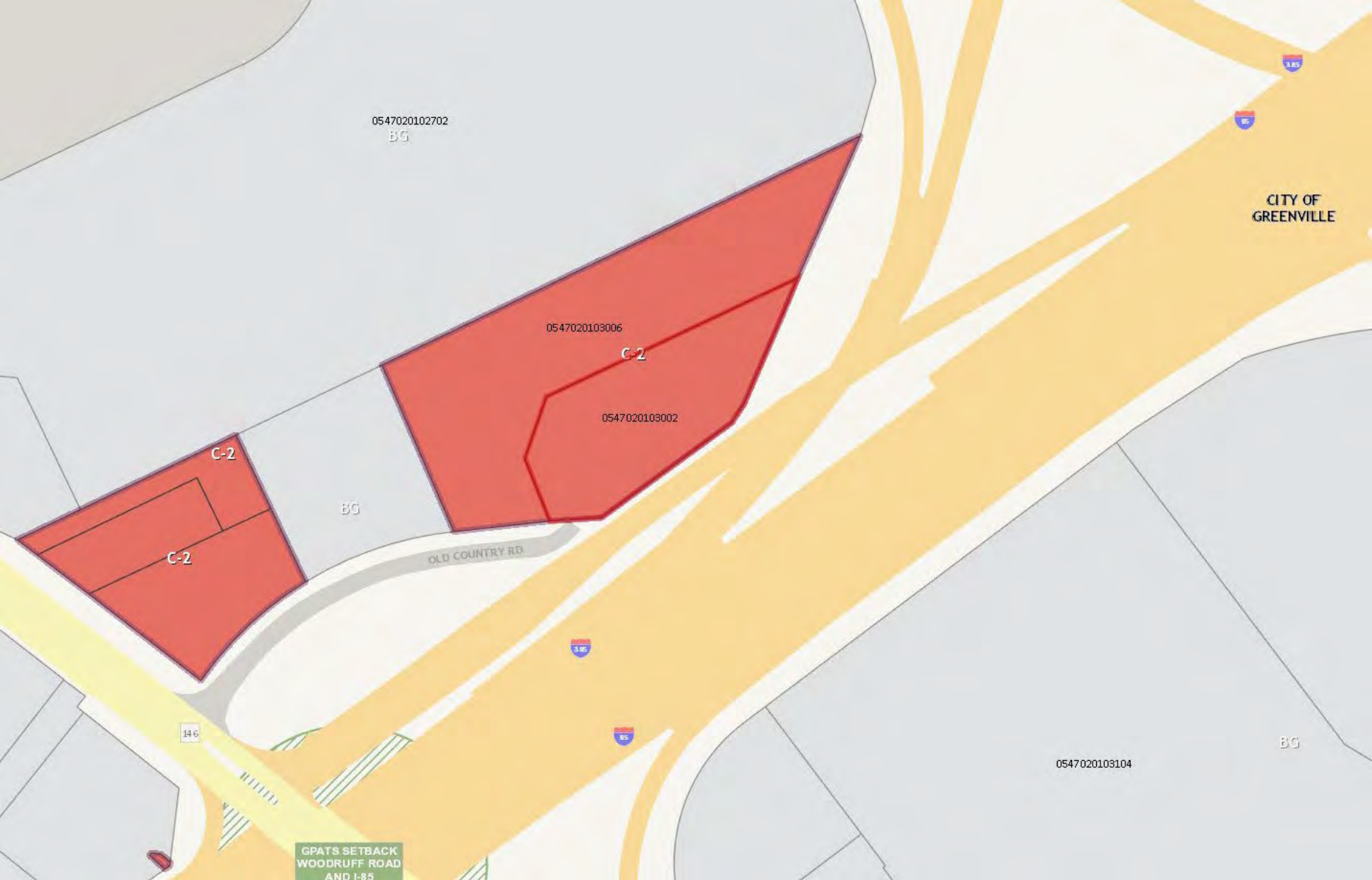
CB-2023-108 Site Plan



* Hold down the **Shift** key to show the Crosshair.
* Left-Click with the crosshair to place a pin.



CB-2023-108: Zoning Map



CB-2023-108: Aerial Map



CB-2023-108 Photos



Subject



Subject



Northeast of Subject



Southwest of Subject

CB-2023-109

- Applicant:** Mike Jones of Weston and Sampson for Renewable Water Resources
- Project Type:** Use by Special Exception
- Address:** 497 N Harrison Bridge Rd.,
Simpsonville, SC 29680
- Zoning:** R-S, Residential Suburban District
- Posting:** Confirmed 10/24/23

CB-2023-109 Request

This property is located north of New Harrison Bridge Road, south of Rocky Creek Road, and southeast of the W Georgia Rd and Fork Shoals Road intersection.

The applicant is requesting a Use by Special Exception for the public utility to construct a storage building on site.

CB-2023-109 Request

Previous Dockets brought before the Board of Zoning Appeals were:

On April 8, 1998, the Board of Zoning Appeals approved Docket CB-98-42 for a Use by Special Exception to allow construction of additions to the wastewater treatment facility.

On September 15, 2004, the Board of Zoning Appeals approved Docket CB-04-72 for a Use by Special Exception to allow construction of additions to the wastewater treatment facility.

On August 8, 2018, the Board of Zoning Appeals approved Docket CB-18-31 for a Use by Special Exception to allow construction of additions to the wastewater treatment facility.

On November 9, 2022, the Board of Zoning Appeals approved Docket CB-22-72 for a Use by Special Exception to allow the construction of a fine screen structure on site.

On January 11, 2023, the Board of Zoning Appeals approved Docket CB-23-06 for a Special Exception for a public utility to add a storage building.

CB-2023-109: Use By Special Exception

Section 5:4 and Table 6.1 (Uses Permitted, Uses by Special Exception and Conditional Uses) of the Greenville County Zoning Ordinance lists “Public Utility” as a Use by Special Exception in the R-S, Residential Suburban District.

Section 11:7 – Public Utility Buildings and Uses, states: "Public utility buildings and uses such as sewage lift stations, pump stations, electrical substations, and telephone equipment buildings which are not detrimental to other uses permitted in the district may be permitted in any district. Such uses shall be enclosed within a building or by a suitable fence providing protection and screening against light, noise, fumes, or unsightliness. Open area on the premises shall be landscaped."

CB-2023-109: Use By Special Exception Considerations

Section 11:1 - General Provisions for Uses Permitted by Special Exception states:

“The Board of Zoning Appeals may grant permission for those uses permitted by special exception which are in accordance with the provisions of this Ordinance and the specific conditions set forth in this section.” The Board shall consider the following factors:

- A. The use meets all required conditions.
- B. The use is not detrimental to the public health or general welfare.
- C. The use is appropriately located with respect to transportation facilities, water supply, fire and police protection, waste disposal and similar services.
- D. The use will not violate neighborhood character nor adversely affect surrounding land uses.

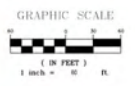
CB-2023-109 Location on Site



CB-2023-109 Site Plan



LOWER REEDY SITE LOCATION



Project
Lower Reedy and Gibler Creek
Storage Buildings
Renewable Water Resources
561 Mauldin Rd
Greenville, SC 29607

ReWa
renewable water resources

Weston & Sampson

www.westonandsampson.com

Contractor:
HOWARD ENGINEERING, Inc.
P.O. BOX 237
MARRETTA, SC 29681
803-692-0440

No.	Date	Description



Issued For:
60% SUBMITTAL

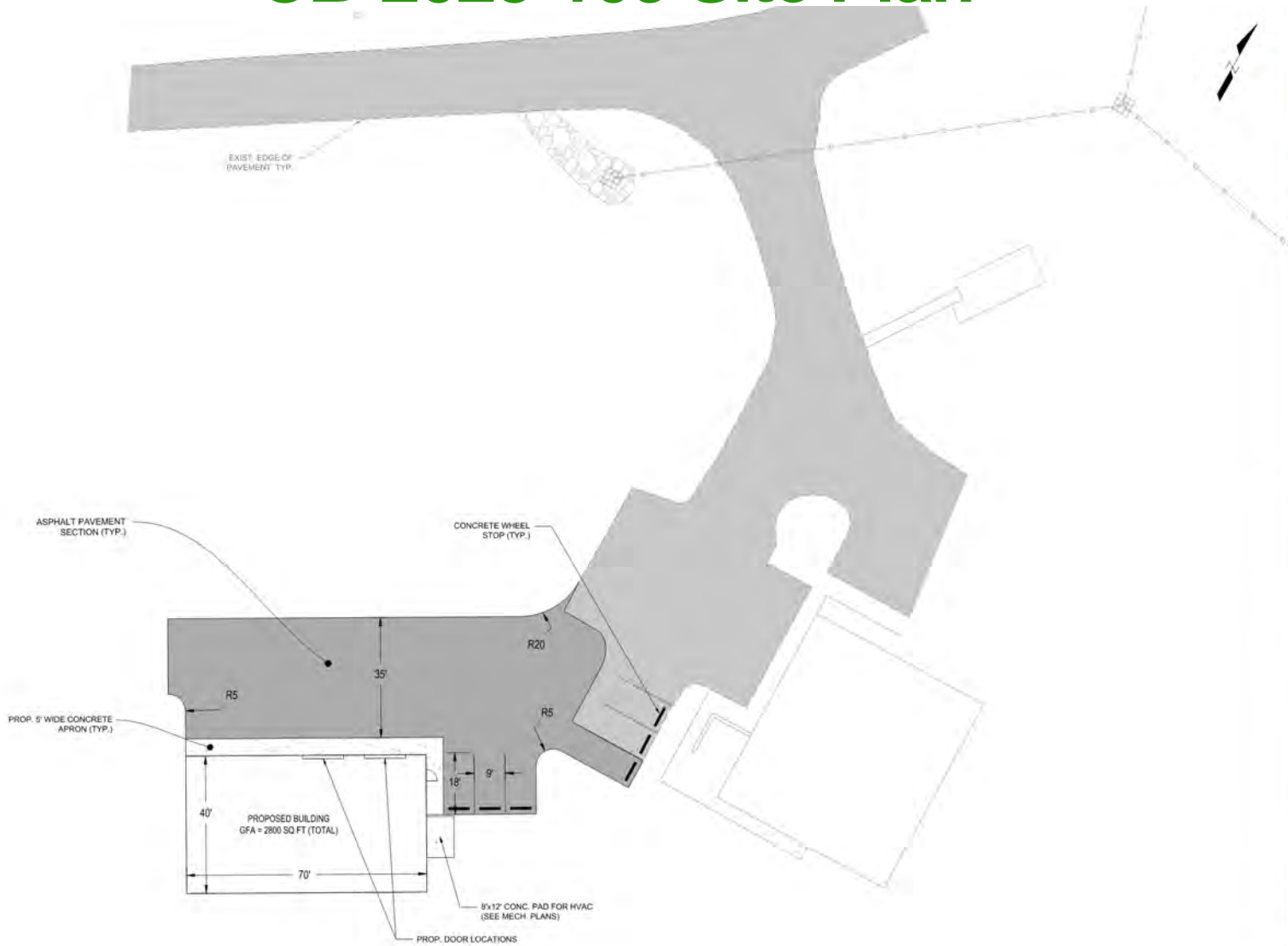
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Date: 7/28/2023
Drawn By:
Reviewed By:
Approved By:

W&S Project No.: 08023-0810
W&S File No.:

Drawing Title:
**LOWER REEDY
OVERALL SITE PLAN**

Sheet Number:
C100

CB-2023-109 Site Plan



Lower Reedy and Older Creek
Storage Buildings
Renewable Water Resources
351 Mauldin Rd
Greenville, SC 29607



Weston & Sampson

www.westonandsampson.com

HOWARD ENGINEERING, Inc.
P.O. BOX 237
MURRETTA, SC 29661
864-338-0440

Revisions

No.	Date	Comments

Date:



Scale:

Issued For:

60% SUBMITTAL

Scale:

Date: 7/28/2023

Drawn By:

Reviewed By:

Approved By:

W&S Project No.: SW23-0510

W&S File No.:

Issued For:

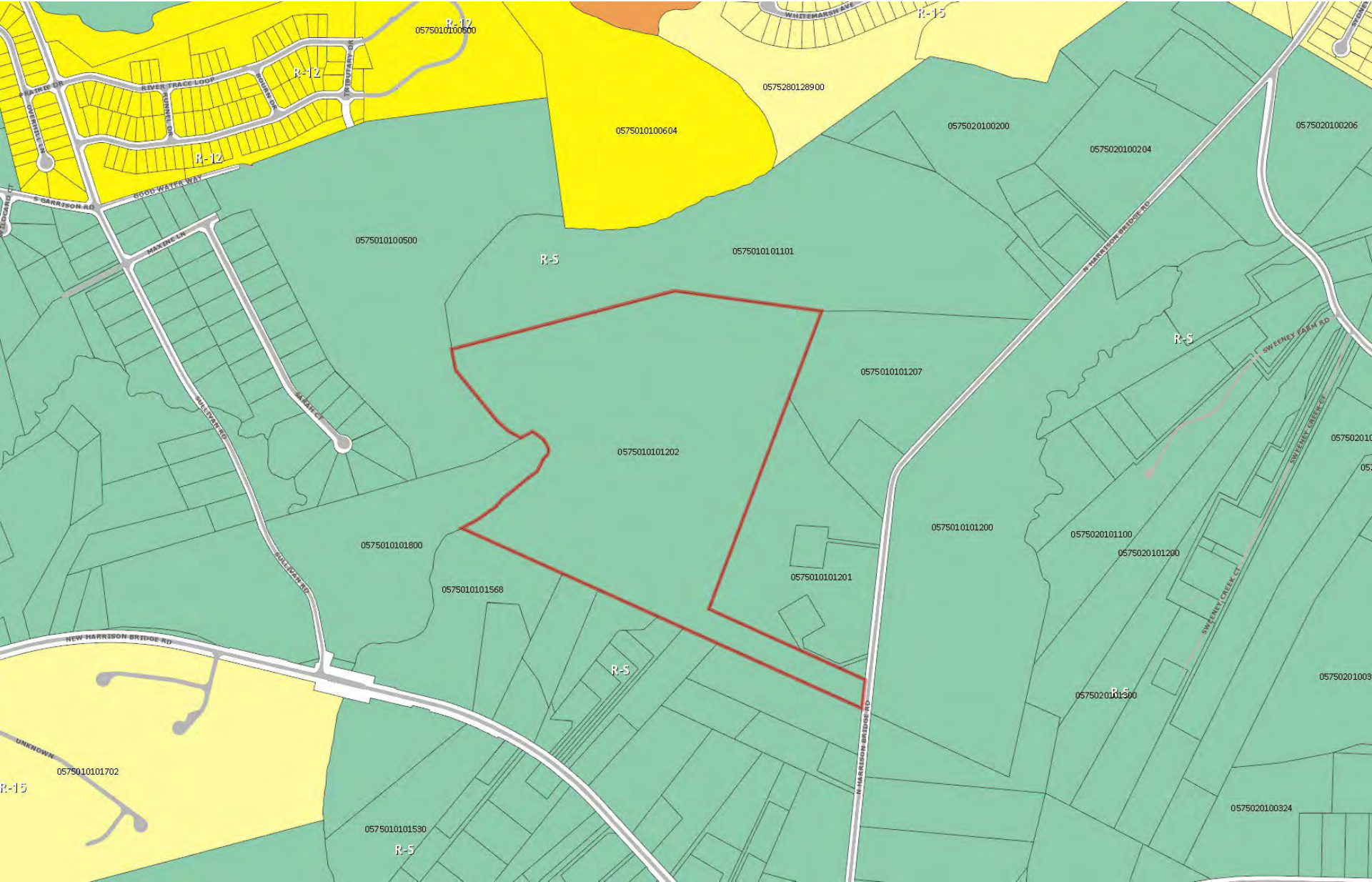
SITE PLAN

Sheet Number:

C103



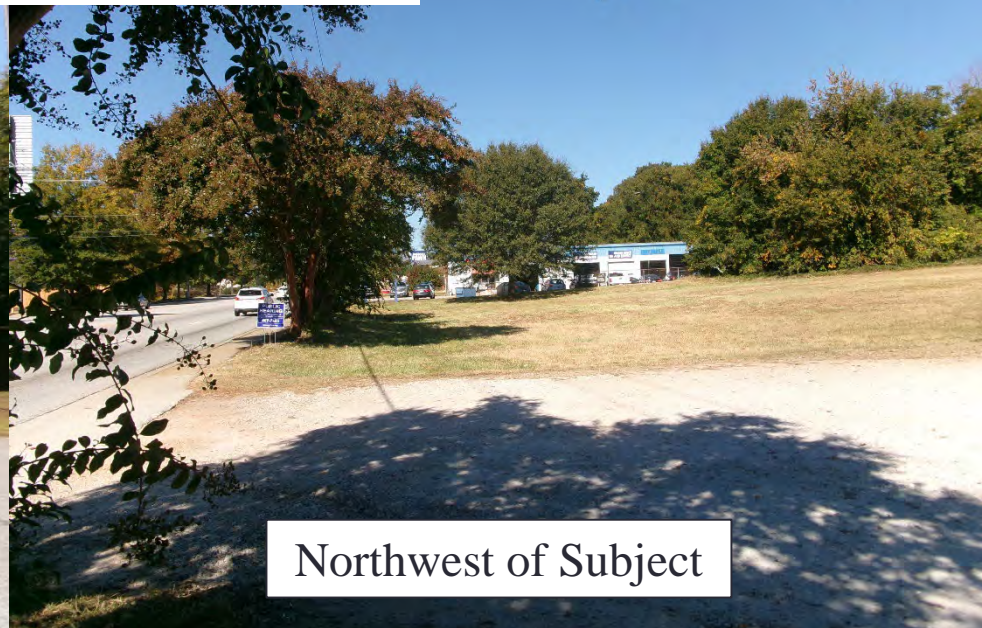
CB-2023-109: Zoning Map



CB-2023-109 Photos



Subject



Northwest of Subject



Southwest of Subject



Southeast of Subject

CB-2023-111

- Applicant:** Paul J. Harrison of Bluewater Civil Design, LLC for Mauldin Road Storage Partners, LLC
- Project Type:** Variance
- Address:** 413 Mauldin Rd, Greenville, SC 29605
- Zoning:** C-2, Commercial District
- Posting:** Confirmed 10/24/23

CB-2023-111: Request

The property is located on Mauldin Road, southeast of the intersection of Mauldin Road and S. Pleasantburg Drive, near the City of Greenville.

The applicant is requesting a Variance for a 25' encroachment into the 25' front setback for a 30' section of the front property line.

There is a 25' by 30' section along the front property line that was purchased by SCDOT in 1994 for the installation of a storm drainage pipe. SCDOT is not able to relinquish this easement since the purchase of this easement was funded by interstate funds.

There are no prior applications before the BZA.

CB-2023-111: Variance

Section 7:3.1, Table 7.3 – Setback/Height Requirements for the C-2, Commercial District;

FRONT	=	25' from edge of road R.O.W.
RIGHT SIDE	=	5' from property line
LEFT SIDE	=	5' from property line
REAR	=	20' from property line

7:3.3 Calculating Minimum Front Setback

The minimum depth of the front yard measured from the street right-of-way line shall be 20 feet on a residential service street, 30 feet on a collector street, and 50 feet on an arterial street, except that when a right-of-way has not been established or is not known, the setback shall be measured from the edge of the pavement or back of the curb, if present, and each required setback shall be increased by a minimum of 10 feet.

CB-2023-111: Variance Considerations

Section 3:4.1 of the Greenville County Zoning Ordinance states that a variance may be granted if the Board makes and explains the following findings:

- A. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
- B. These conditions do not generally apply to other property in the vicinity;
- C. Because of the conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; *and*
- D. The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

CB-2023-111 Site Plan

SITE DATA

TAX MAP NO.: M01505100721
 SITE AREA: ±2.13 AC.
 ZONING: C-2

SETBACKS:
 25' FRONT (FROM MAULDEN ROAD)
 10' REAR
 5' SIDE (FROM PROPERTY LINE)

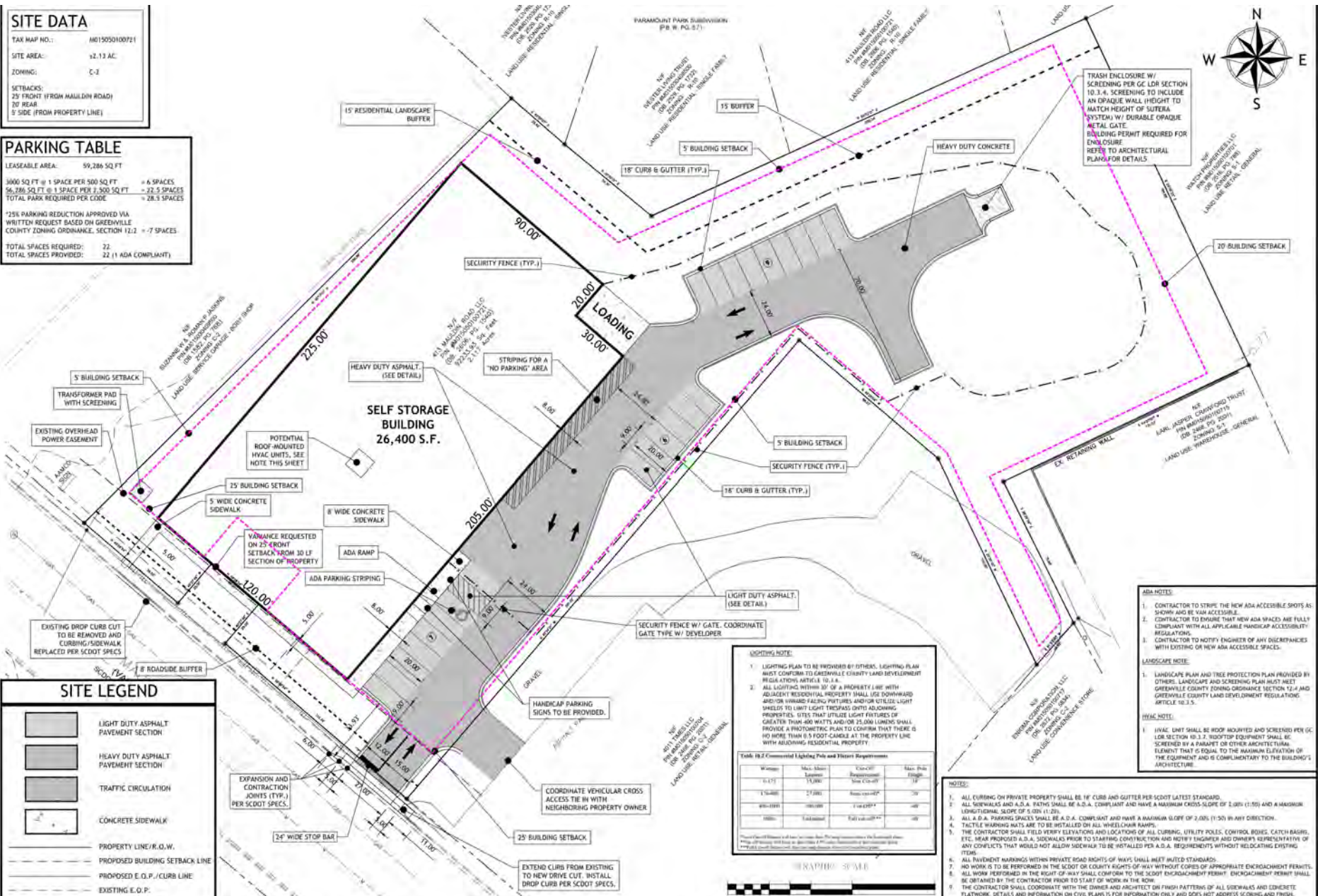
PARKING TABLE

LEASEABLE AREA: 59,286 SQ FT

3000 SQ FT @ 1 SPACE PER 500 SQ FT = 6 SPACES
 56,286 SQ FT @ 1 SPACE PER 2,300 SQ FT = 22.5 SPACES
 TOTAL PARK REQUIRED PER CODE = 28.5 SPACES

*25% PARKING REDUCTION APPROVED VIA WRITTEN REQUEST BASED ON GREENVILLE COUNTY ZONING ORDINANCE, SECTION 12.2 ±7 SPACES

TOTAL SPACES REQUIRED: 22
 TOTAL SPACES PROVIDED: 22 (1 ADA COMPLIANT)



SITE LEGEND

- LIGHT DUTY ASPHALT PAVEMENT SECTION
- HEAVY DUTY ASPHALT PAVEMENT SECTION
- TRAFFIC CIRCULATION
- CONCRETE SIDEWALK
- PROPERTY LINE/R.O.W.
- PROPOSED BUILDING SETBACK LINE
- PROPOSED E.O.P./CURB LINE
- EXISTING E.O.P.
- PROPOSED C/L ROAD

LIGHTING NOTE:

- LIGHTING PLAN TO BE PROVIDED BY OTHERS. LIGHTING PLAN MUST CONFORM TO GREENVILLE COUNTY LAND DEVELOPMENT REGULATORY ARTICLE 10.3.4.
- ALL LIGHTING WITHIN 30' OF A PROPERTY LINE WITH ADJACENT RESIDENTIAL PROPERTY SHALL USE DOWNWARD AND/OR UPWARD FACING FIXTURES AND/OR UTILITY LIGHT SHIELDS TO LIMIT LIGHT TRESPASS ONTO ADJACENT PROPERTIES. SITES THAT UTILIZE LIGHT FIXTURES OF GREATER THAN 800 WATTS AND/OR 25,000 LUMENS SHALL PROVIDE A PHOTOMETRIC PLAN TO CONFIRM THAT THERE IS NO MORE THAN 6.5 FOOT-CANDELA AT THE PROPERTY LINE WITH ADJACENT RESIDENTIAL PROPERTY.

Table: Full Commercial Lighting Pole and Fixture Requirements

Wattage	Max. Allow. Lumens	Max. Allow. Foot-Candle*	Max. Pole Height
150-200	15,000	1.5	15'
250-300	25,000	2.5	20'
400-500	40,000	4.0	25'

*Foot-Candle (FC) is a unit of measurement for light intensity. It is defined as one lumen per square foot.

- ADA NOTES:**
- CONTRACTOR TO STRIPE THE NEW ADA ACCESSIBLE SPOTS AS SHOWN AND BE SIGN ACCESSIBLE.
 - CONTRACTOR TO ENSURE THAT NEW ADA SPACES ARE FULLY COMPLIANT WITH ALL APPLICABLE HANDICAP ACCESSIBILITY REGULATIONS.
 - CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES WITH EXISTING OR NEW ADA ACCESSIBLE SPACES.
- LANDSCAPE NOTE:**
- LANDSCAPE PLAN AND TREE PROTECTION PLAN PROVIDED BY OTHERS. LANDSCAPE AND SCREENING PLAN MUST MEET GREENVILLE COUNTY ZONING ORDINANCE SECTION 12.4 AND GREENVILLE COUNTY LAND DEVELOPMENT REGULATIONS ARTICLE 10.3.5.
- HVAC NOTE:**
- HVAC UNIT SHALL BE ROOF MOUNTED AND SCREENED PER GC LOR SECTION 10.3.7. ROOFTOP EQUIPMENT SHALL BE SCREENED BY A PARAPET OR OTHER ARCHITECTURAL ELEMENT THAT IS EQUAL TO THE MAXIMUM ELEVATION OF THE EQUIPMENT AND IS COMPLEMENTARY TO THE BUILDING'S ARCHITECTURE.

- NOTES:**
- ALL CURBING ON PRIVATE PROPERTY SHALL BE 18" CURB AND GUTTER PER SCOTD LATEST STANDARD.
 - ALL SIDEWALKS AND A.D.A. PATHS SHALL BE A.D.A. COMPLIANT AND HAVE A MAXIMUM CROSS-SLOPE OF 2.00% (1:50) AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00% (1:20).
 - ALL A.D.A. PARKING SPACES SHALL BE A.D.A. COMPLIANT AND HAVE A MAXIMUM GROUND OF 2.00% (1:50) IN ANY DIRECTION.
 - TACTILE WARNING STRIPS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
 - THE CONTRACTOR SHALL VERIFY ELEVATIONS AND LOCATION OF ALL CURBING, UTILITY POLES, CONTROL BOXES, CATCH BASINS, ETC. NEAR PROPOSED A.D.A. SIDEWALKS PRIOR TO STARTING CONSTRUCTION AND NOTIFY ENGINEER AND OWNER'S REPRESENTATIVE OF ANY CONFLICTS THAT WOULD NOT ALLOW SIDEWALK TO BE INSTALLED PER A.D.A. REQUIREMENTS WITHOUT REDLOCATING EXISTING ITEMS.
 - ALL PAVEMENT MARKINGS WITHIN PRIVATE ROAD RIGHTS OF WAY SHALL MEET A.D.A. STANDARDS.
 - NO WORK IS TO BE PERFORMED IN THE SCOTD OR COUNTY RIGHTS OF WAY WITHOUT COPIES OF APPROPRIATE ENCROACHMENT PERMITS.
 - ALL WORK PERFORMED IN THE RIGHT-OF-WAY SHALL CONFORM TO THE SCOTD ENCROACHMENT PERMIT. ENCROACHMENT PERMIT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO START OF WORK IN THE ROW.
 - THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ARCHITECT ON FINISH PATTERNS OF ALL SIDEWALKS AND EXPEDITE PAVING. DETAILS AND INFORMATION ON CIVIL PLANS IS FOR INFORMATION ONLY AND DOES NOT ADDRESS SCURING AND FINISH.
 - ALL TRAFFIC CONTROL IMPACTING A TRAVEL LANE, LANE CLOSURE, LANE REDUCTION, ETC. SHALL BE COMPLETED AT NIGHT BETWEEN 11:00 PM AND 5:00 AM.

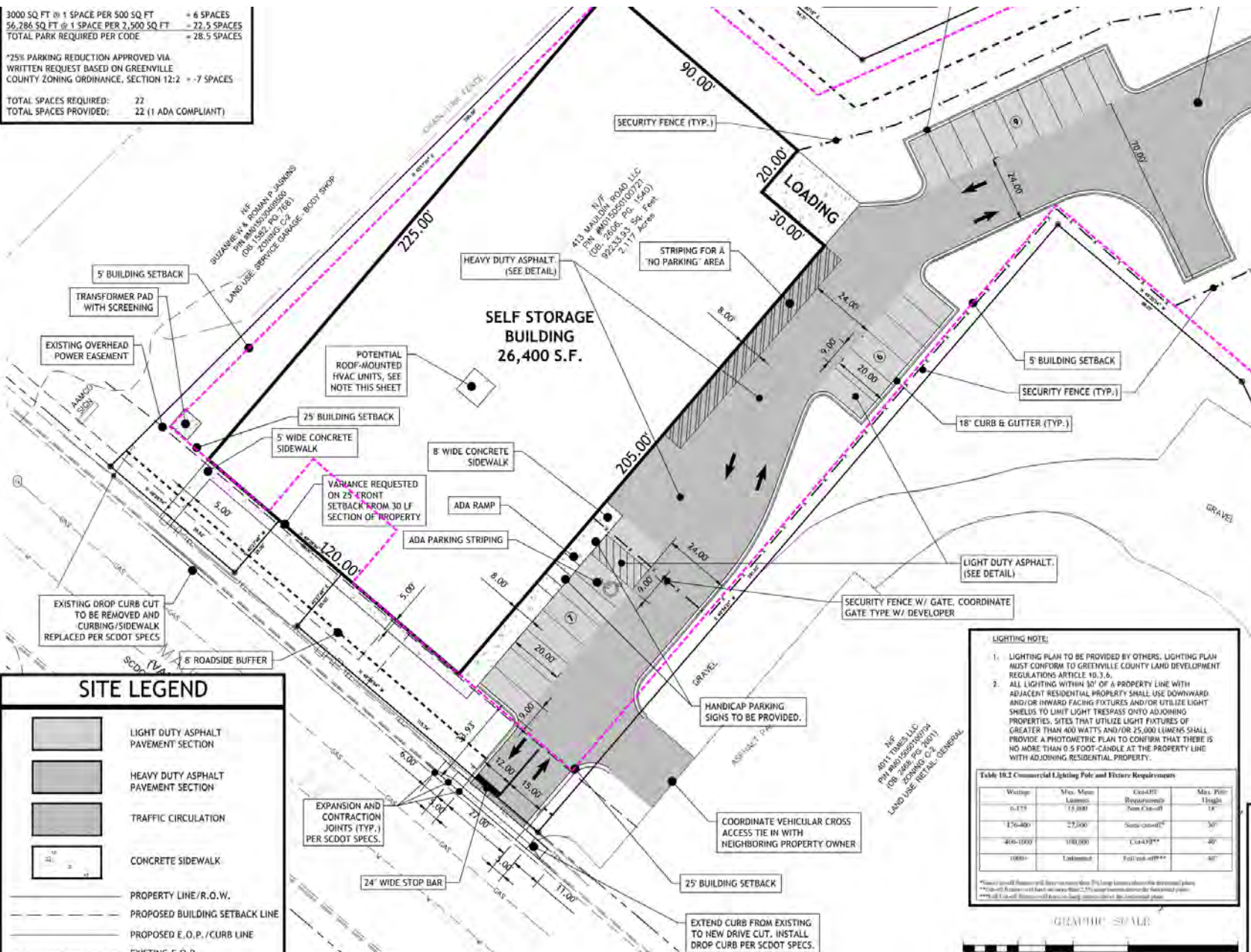


CB-2023-111 Site Plan

3000 SQ. FT. @ 1 SPACE PER 500 SQ. FT. = 6 SPACES
 56,286 SQ. FT. @ 1 SPACE PER 2,500 SQ. FT. = 22.5 SPACES
 TOTAL PARK REQUIRED PER CODE = 28.5 SPACES

*75% PARKING REDUCTION APPROVED VIA WRITTEN REQUEST BASED ON GREENVILLE COUNTY ZONING ORDINANCE, SECTION 12:2 = 7 SPACES

TOTAL SPACES REQUIRED: 22
 TOTAL SPACES PROVIDED: 22 (1 ADA COMPLIANT)



SITE LEGEND

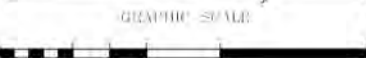
- LIGHT DUTY ASPHALT PAVEMENT SECTION
- HEAVY DUTY ASPHALT PAVEMENT SECTION
- TRAFFIC CIRCULATION
- CONCRETE SIDEWALK
- PROPERTY LINE/R.O.W.
- PROPOSED BUILDING SETBACK LINE
- PROPOSED E.O.P./CURB LINE
- EXISTING E.O.P.

LIGHTING NOTE:

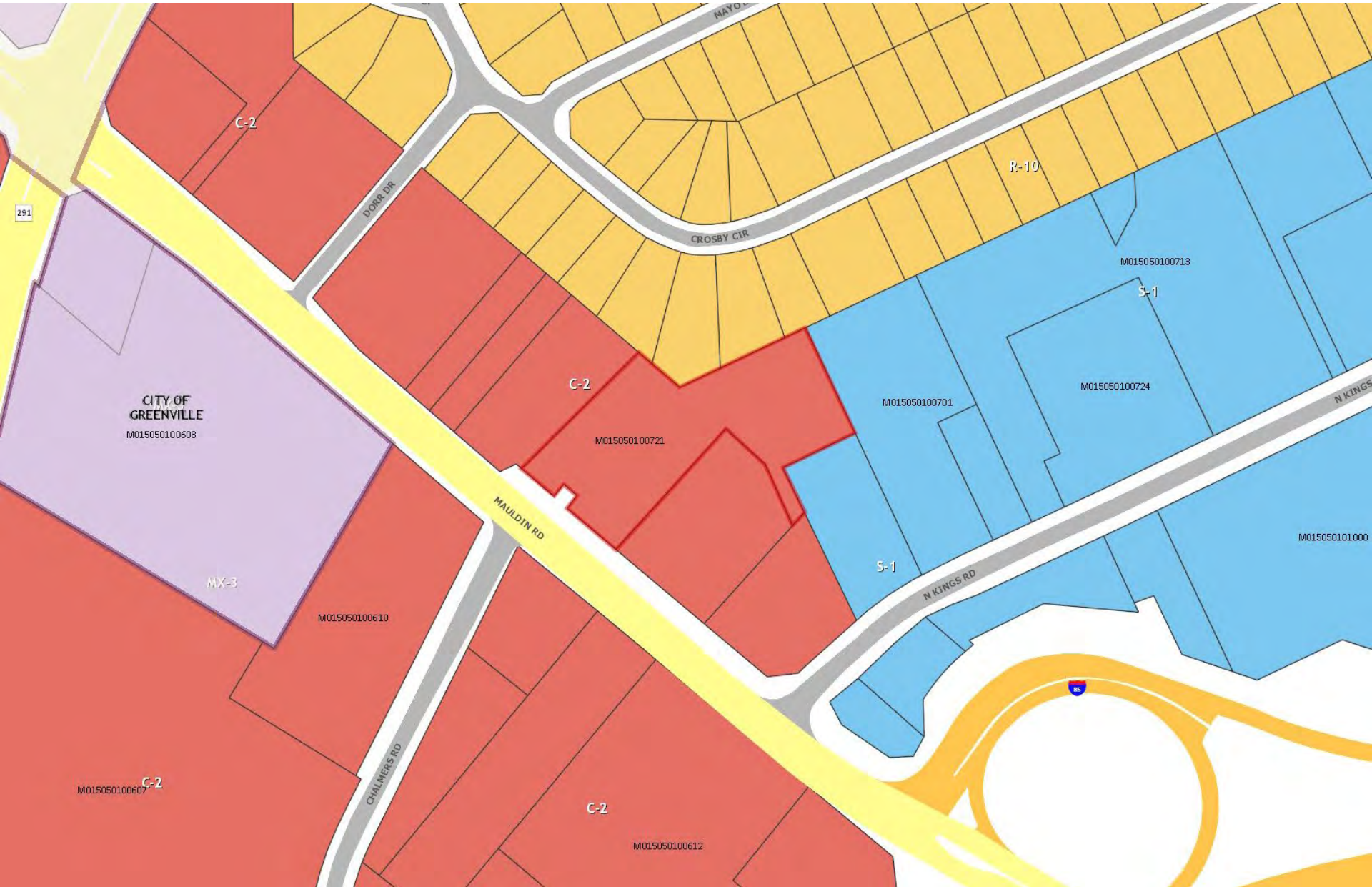
- LIGHTING PLAN TO BE PROVIDED BY OTHERS. LIGHTING PLAN MUST CONFORM TO GREENVILLE COUNTY LAND DEVELOPMENT REGULATIONS ARTICLE 10, J, 6.
- ALL LIGHTING WITHIN 30' OF A PROPERTY LINE WITH ADJACENT RESIDENTIAL PROPERTY SHALL USE DOWNWARD AND/OR INWARD FACING FIXTURES AND/OR UTILIZE LIGHT SHIELDS TO LIMIT LIGHT TRESPASS ONTO ADJOINING PROPERTIES. SITES THAT UTILIZE LIGHT FIXTURES OF GREATER THAN 400 WATTS AND/OR 25,000 LUMENS SHALL PROVIDE A PHOTOMETRIC PLAN TO CONFIRM THAT THERE IS NO MORE THAN 0.5 FOOT-CANDLE AT THE PROPERTY LINE WITH ADJOINING RESIDENTIAL PROPERTY.

Wattage	Max. Mean Lumens	Classified Requirements	Min. Pole Height
0-175	15,000	Turn On-Off	18'
176-400	29,500	Scene Control*	30'
400-1000	100,000	Lighting**	40'
1000+	1,000,000	Full On-Off***	40'

*Scene control means the ability to vary the lighting fixture's output based on the time of day.
 **Lighting means the ability to vary the lighting fixture's output based on the time of day.
 ***Full On-Off means the ability to turn the lighting fixture on and off.



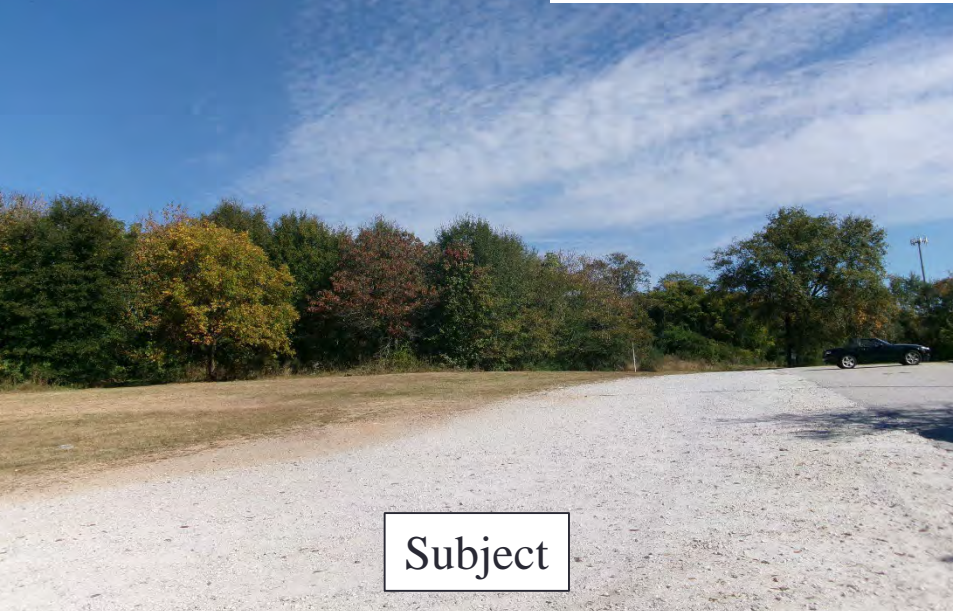
CB-2023-111: Zoning Map



CB-2023-111: Aerial Map



CB-2023-111 Photos



Subject



Northeast of Subject



South of Subject



Southwest of Subject

CB-2023-112

Applicant:	John L. Powell
Project Type:	Variance
Address:	5 Ila Ct. Greenville, SC 29611
Zoning:	R-10, Single-Family Residential District
Posting:	Confirmed 10/24/23

CB-2023-112 Request

The property is located northeast of the intersection of White Horse Road and Anderson Road, west of the City of Greenville.

The applicant is requesting a Variance to encroach 3.5' into the required 5' rear setback and 3.6' into the required 5' left side setback for continued construction of an expansion of an existing nonconforming accessory structure.

There are no prior applications before the BZA.

CB-2023-112: Variance

Section 7:3.1, Table 7.3 – Setback/Height Requirements for the R-10, Single-Family Residential District

FRONT	=	20' from edge of road R.O.W.
RIGHT SIDE	=	5' from property line
LEFT SIDE	=	5' from property line
REAR	=	5' from property line

9:3.3 Expansion of Nonconforming Structures

Nonconforming structures existing at the time of adoption of this Ordinance or structures made nonconforming as a result of road improvements may be expanded in any zoning district provided that the expansion conform to the setback requirements provided in the zoning district in which such structures are located. The Board of Zoning Appeals may permit expansion into a required setback area.

9:3.7 Repair and Alteration of Nonconforming Uses

Normal maintenance and repair of a building occupied by a nonconforming use is permitted provided no other provisions of this Ordinance are violated.

9:3.8 Damage or Destruction of Nonconforming Uses

Any nonconforming structure or any structure containing a nonconforming use, which has been damaged by fire or other causes, may be reconstructed and used as before, if reconstruction is substantially begun within 12 months of such damage. However, reconstructed structures shall not exceed the square footage contained in the structure at the time the damage occurred.

CB-2023-112: Variance Considerations

Section 3:4.1 of the Greenville County Zoning Ordinance states that a variance may be granted if the Board makes and explains the following findings:

- A. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
- B. These conditions do not generally apply to other property in the vicinity;
- C. Because of the conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; *and*
- D. The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

CB-2023-112: Aerial Map



CB-2023-112 Photos



Subject



Subject



Northeast of Subject



Northwest of Subject

CB-2023-113

- Applicant:** Zachary D. Johnson of Gray Engineering
Consultants for Savings Carolina Division
- Project Type:** Variance
- Address:** 3318 Wade Hampton Blvd., Taylors, SC 29687
- Zoning:** C-2, Commercial District
- Posting:** Confirmed 10/24/23

CB-2023-113: Request

The property is located on Wade Hampton Boulevard, southwest of the intersection of Wade Hampton Boulevard and W Main Street in Taylors, SC.

The applicant is requesting a Variance to encroach 25' into the required 25' front setback for the existing building.

There are no prior applications before the BZA.

CB-2023-113: Variance

Section 7:3.1, Table 7.3 – Setback/Height Requirements for the C-2, Commercial District;

FRONT	=	25' from edge of road R.O.W.
RIGHT SIDE	=	5' from property line
LEFT SIDE	=	5' from property line
REAR	=	20' from property line

7:3.3 Calculating Minimum Front Setback

The minimum depth of the front yard measured from the street right-of-way line shall be 20 feet on a residential service street, 30 feet on a collector street, and 50 feet on an arterial street, except that when a right-of-way has not been established or is not known, the setback shall be measured from the edge of the pavement or back of the curb, if present, and each required setback shall be increased by a minimum of 10 feet.

7:3.6 Additional Setback in Commercial Districts

Commercial gasoline islands and canopies shall be set back from all street right-of-way lines not less than 15 feet.

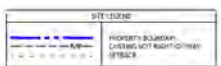
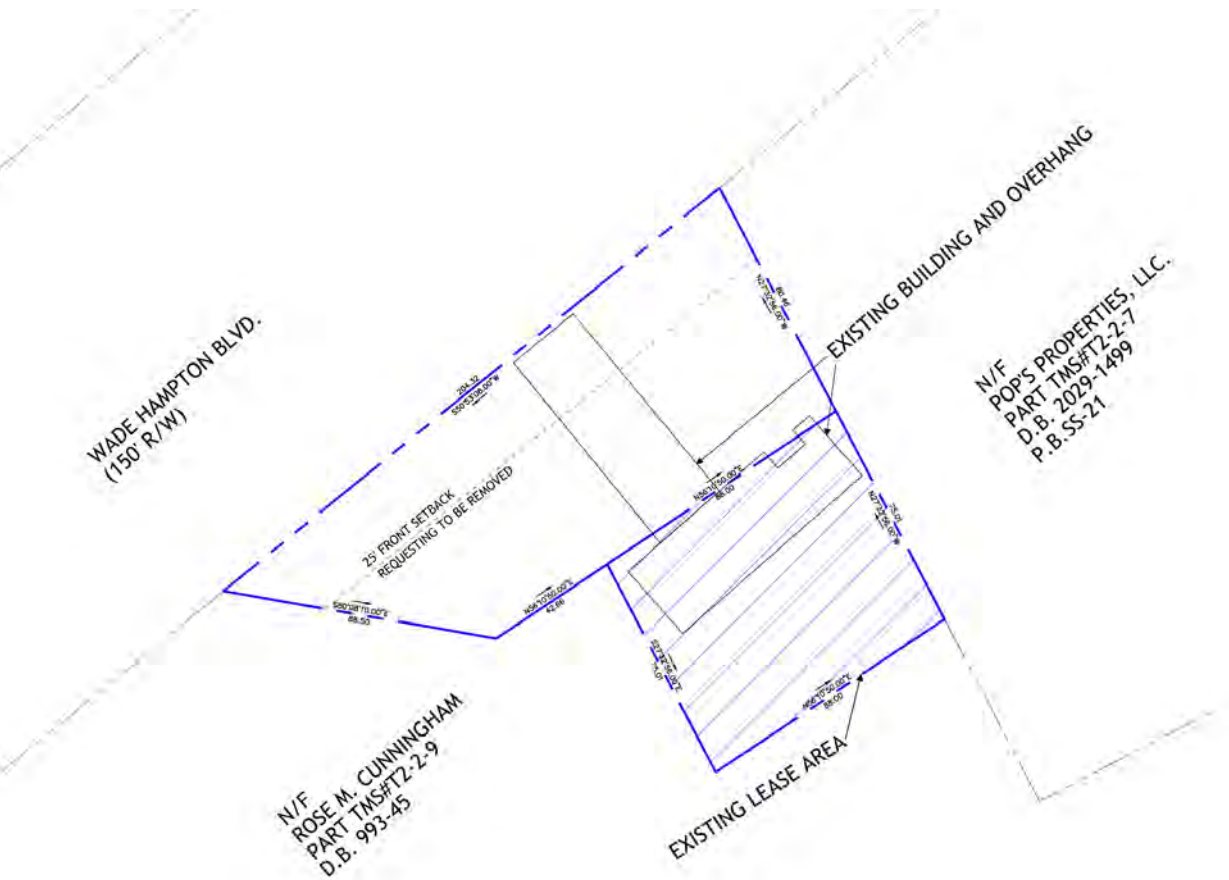
CB-2023-113: Variance Considerations

Section 3:4.1 of the Greenville County Zoning Ordinance states that a variance may be granted if the Board makes and explains the following findings:

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- D. The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

CB-2023-113: Site Plan

DRAWING FOR REFERENCE ONLY



EXISTING LEASE AREA
 EXISTING LEASE AREA (ROSE M. CUNNINGHAM (LESSOR) AND SAVINGS CAROLINA DIVISION, SC CORP. (LESSEE))
 D.B. 1660-432

ZONING
 C-2
SETBACKS
 FRONT: 25'
 BACK: 20'
 SIDE: 0'

PROPERTY OWNERS
 PIN / Tax Map #: T062000200800
 CAROLINA SAVINGS DIVISION
 3318 Wade Hampton Blvd, Taylors, SC 29687

PROPERTY OWNERS
 PIN / Tax Map #: T002000200900
 CUNNINGHAM & SHEEL PROPERTIES
 3316 Wade Hampton Blvd, Taylors, SC 29687

EXISTING SAVINGS OIL COMPANY

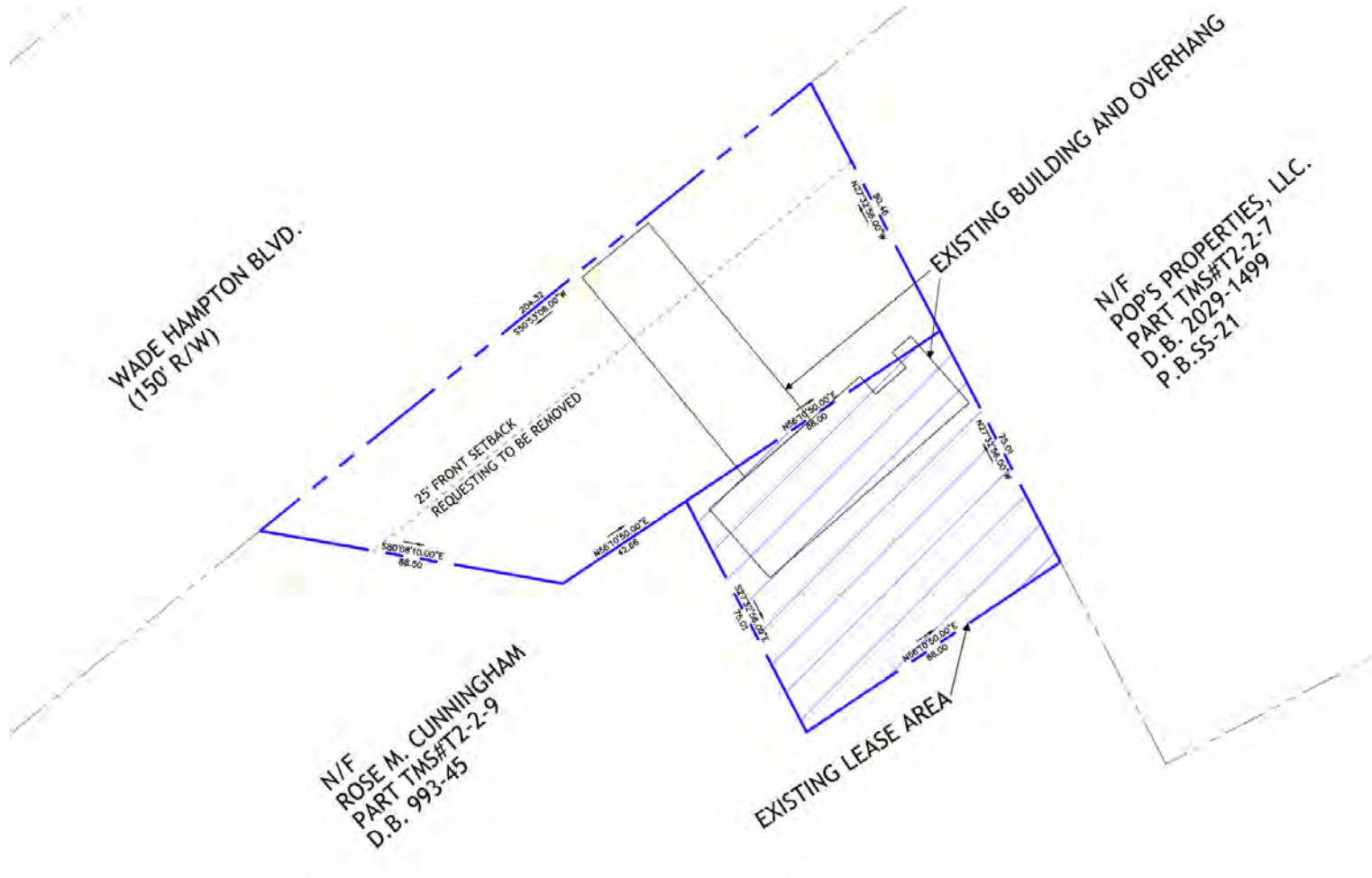
TAX MAP #: T002000200900 | T03200200900

REG. OFF. ADDRESS	REG. OFF. PHONE	REG. OFF. FAX	REG. OFF. EMAIL

REG. OFF. ADDRESS	REG. OFF. PHONE	REG. OFF. FAX	REG. OFF. EMAIL

REG. OFF. ADDRESS	REG. OFF. PHONE	REG. OFF. FAX	REG. OFF. EMAIL

CB-2023-113: Site Plan



SITE LEGEND	
	PROPERTY BOUNDARY
	EXISTING (NOT RIGHT OF WAY)
	SETBACK

EXISTING LEASE AREA

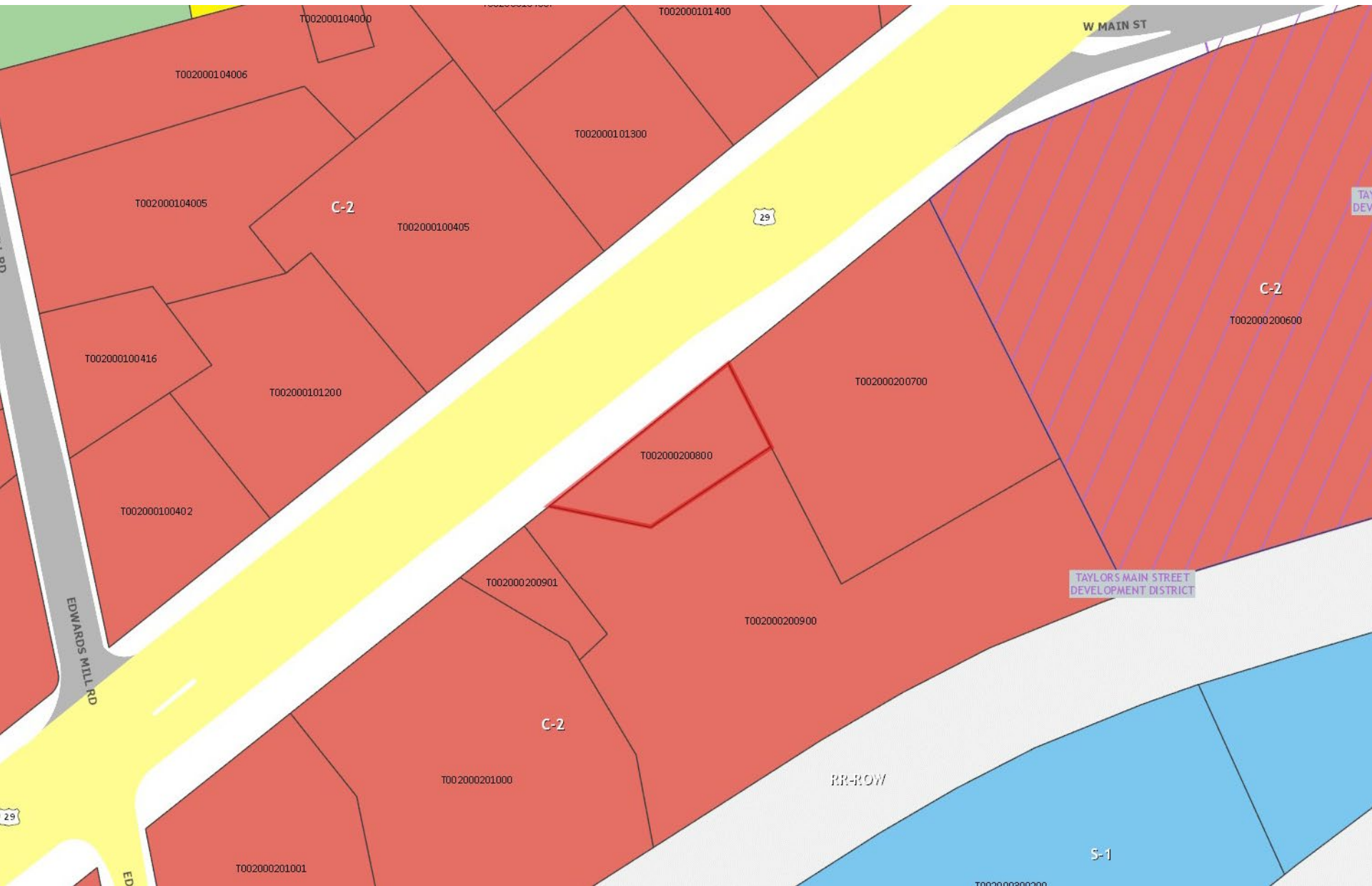
EXISTING LEASE AREA (ROSE M. CUNNINGHAM (LESSOR) AND SAVINGS CAROLINA DIVISION, SC CORP. (LESSEE))

D.B. 1660-432

ZONING
C-2

SETBACKS
FRONT: 25'
BACK: 20'
SIDE: 0'

CB-2023-113: Zoning Map



CB-2023-113: Aerial Map



CB-2023-113 Photos



CB-2023-114

Applicant:	G. Scott Kilgore of Radium Architecture for Alston Wilkes Association
Project Type:	Variance
Address:	1300 Rutherford Rd. Greenville, SC 29609
Zoning:	S-1, Services District
Posting:	Confirmed 10/24/23

CB-2023-114: Request

The property is located northeast of the intersection of Rutherford Road and N. Pleasantburg Drive, near the City of Greenville.

The applicant is requesting a variance for an existing non-conforming structure to encroach 13' 9" and 5' 1 ½" into the required 25' side setbacks.

There are no prior applications before the BZA.

CB-2023-114: Variance

Section 7:3, Table 7.3 – Setback/Height Requirements for the S-1 Services District;

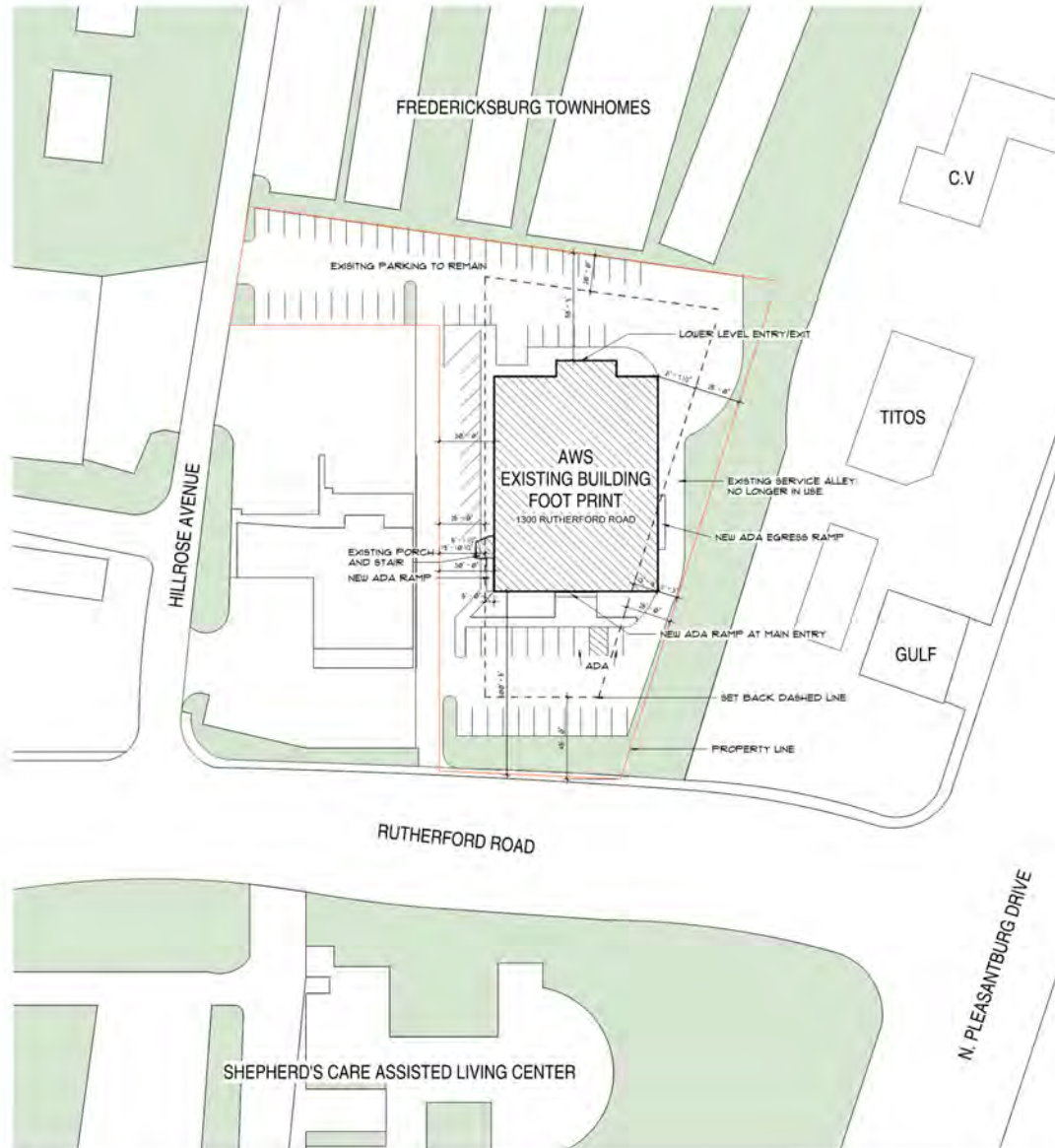
FRONT	=	45' from edge of road R.O.W.
RIGHT SIDE	=	25' from property line
LEFT SIDE	=	25' from property line
REAR	=	20' from property line

CB-2023-114: Variance Considerations

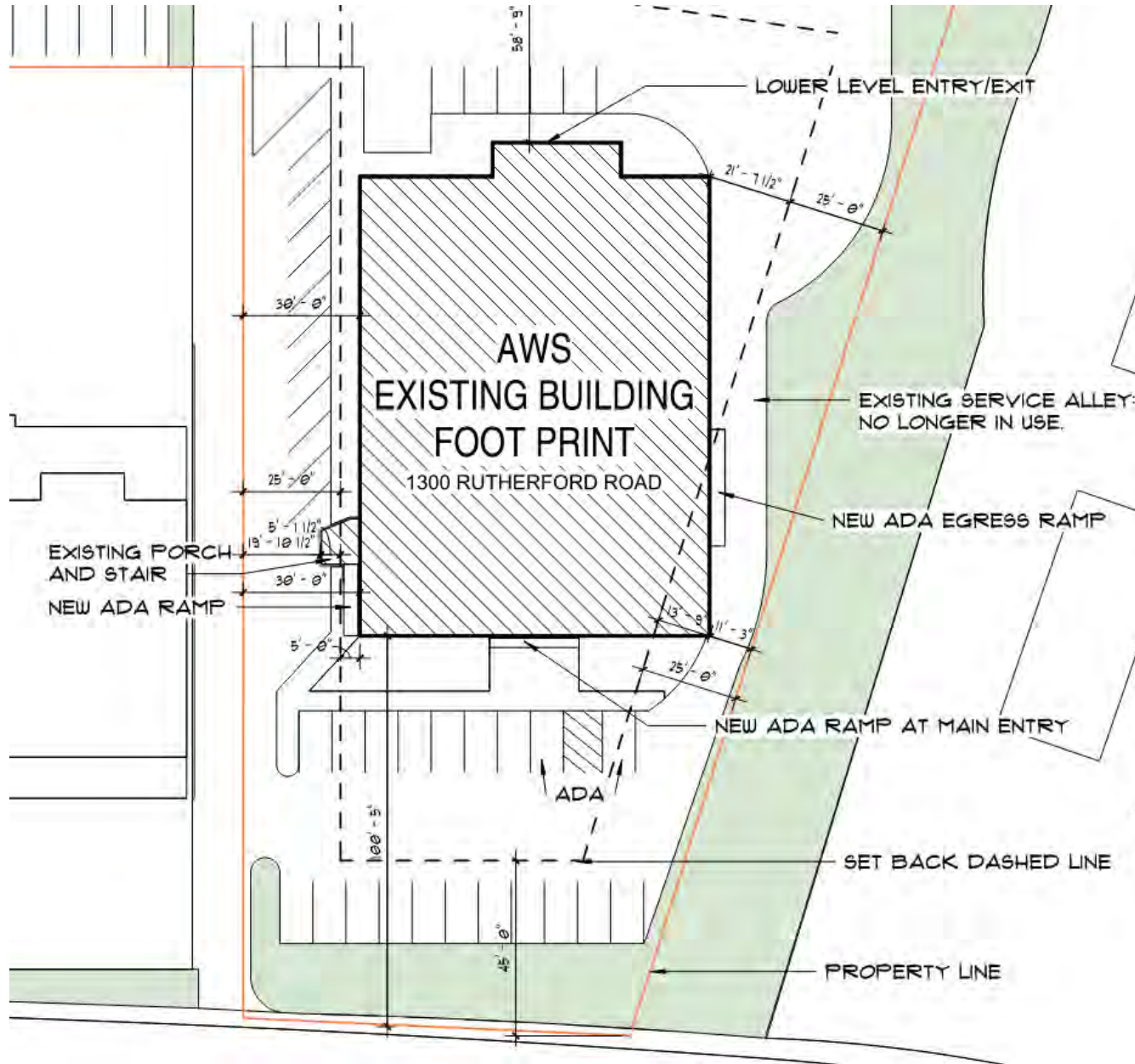
Section 3:4.1 of the Greenville County Zoning Ordinance states that a variance may be granted if the Board makes and explains the following findings:

- A. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
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- C. Because of the conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; *and*
- D. The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

CB-2023-114: Site Plan



CB-2023-114: Site Plan



CB-2023-114: Zoning Map



CB-2023-114: Aerial Map



CB-2023-114 Photos



Subject



Northeast of Subject



Northwest of Subject



West of Subject

End of Dockets

- Announcements/Requests by BZA Members
- Adjournment