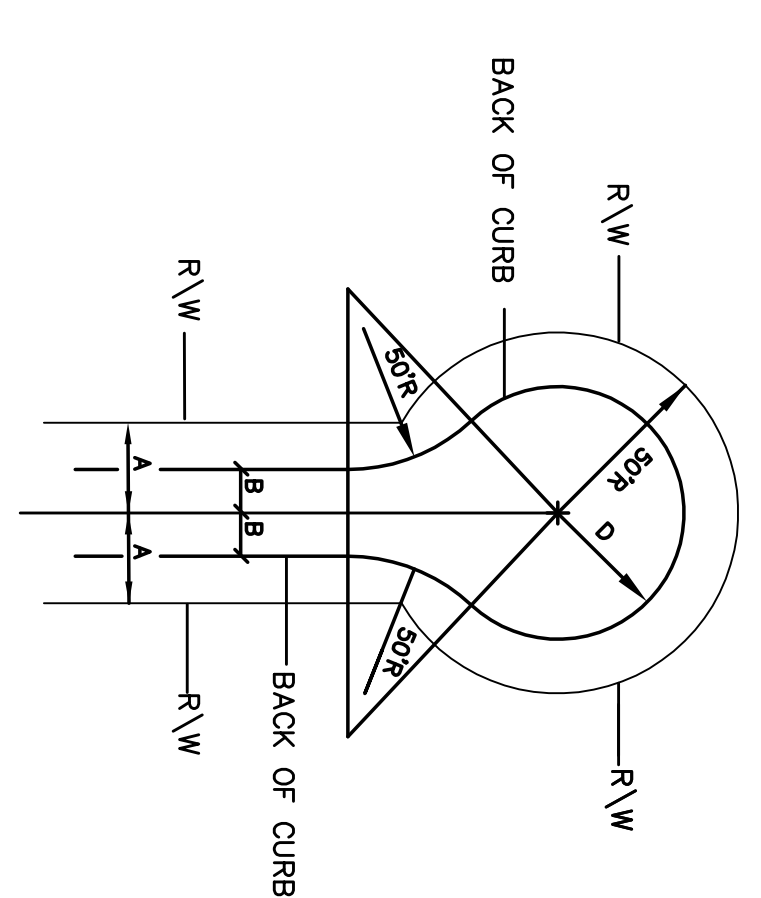
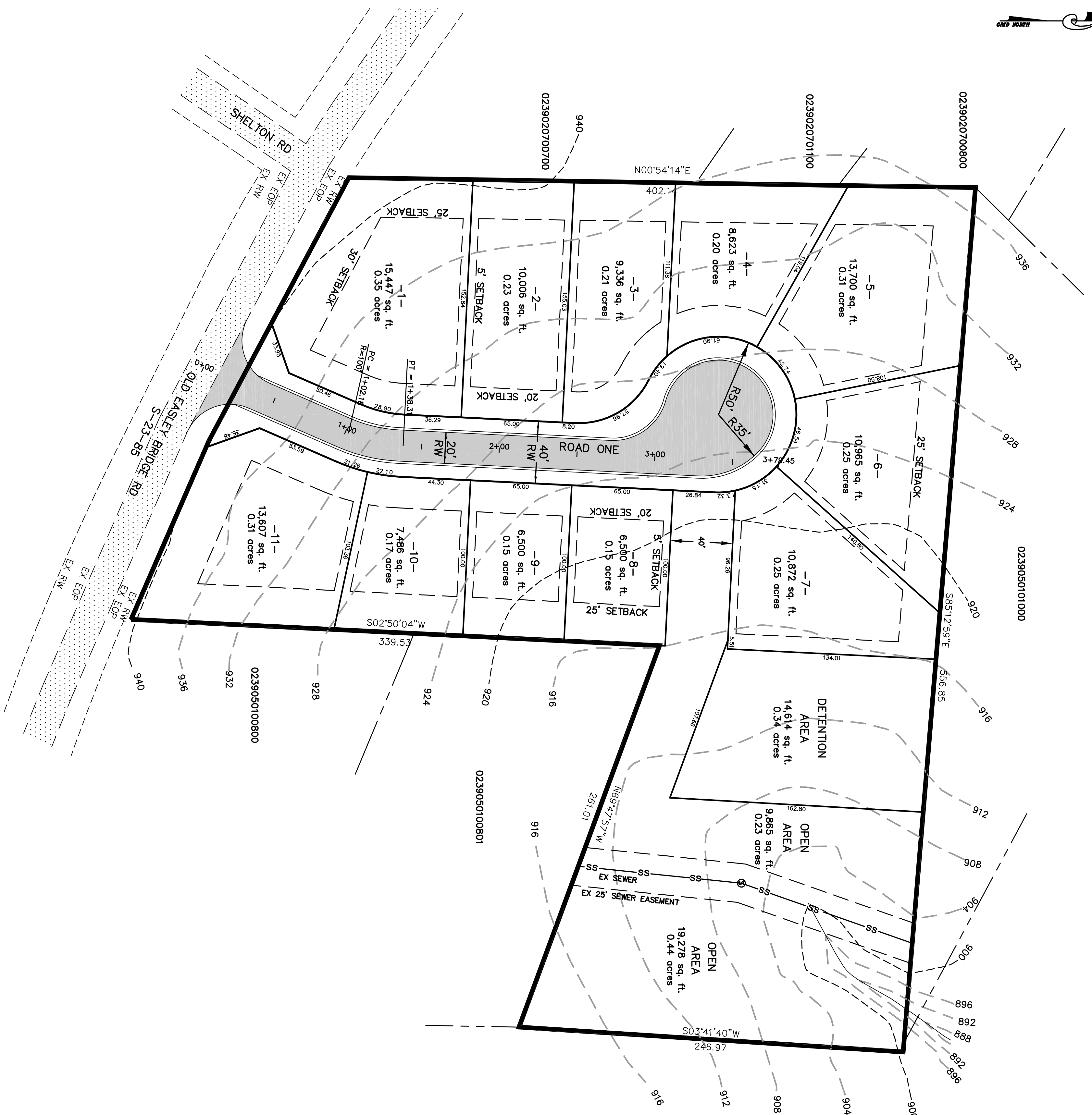


# HARVEST CREEK ESTATES



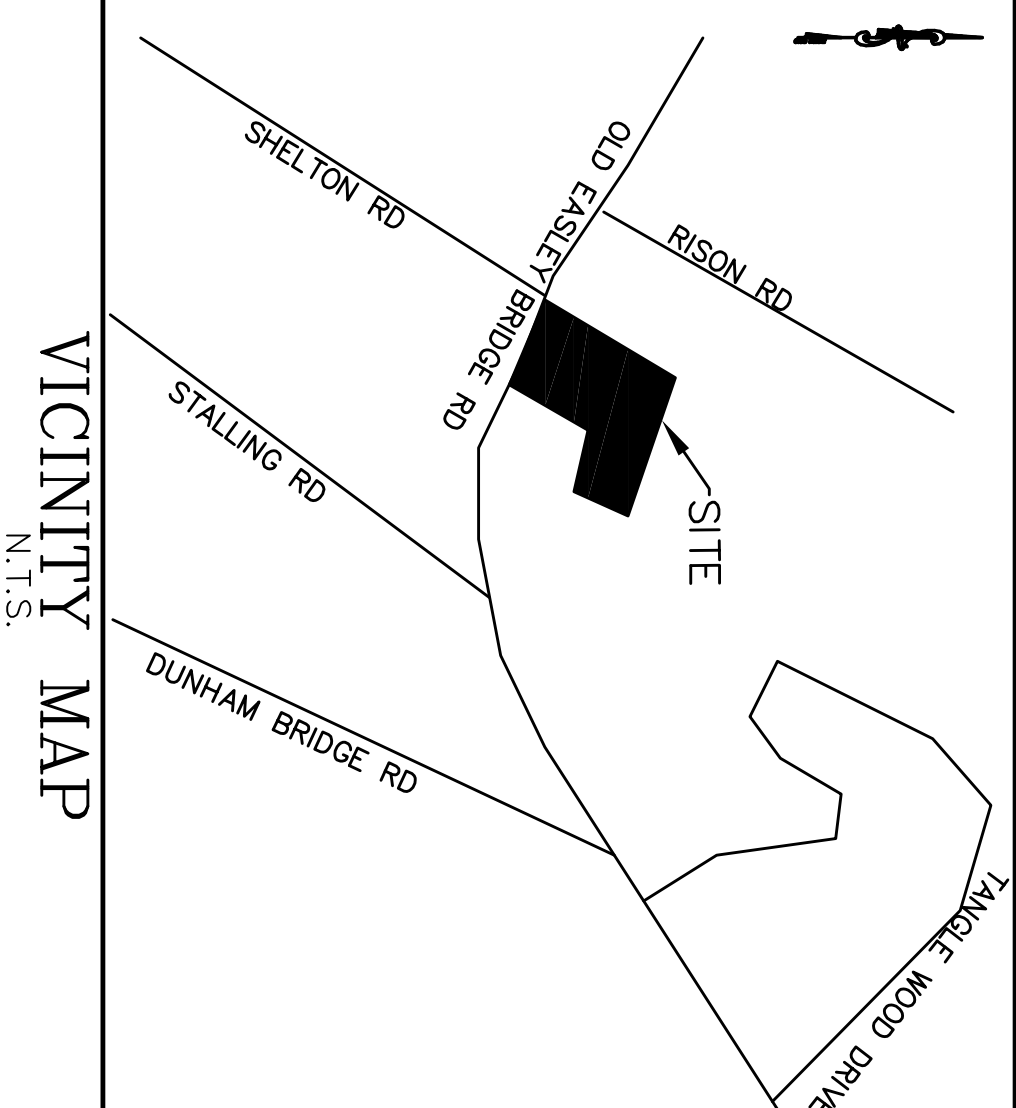
ROAD NAME	'X'	'B'	'C'
ROAD ONE	20'	11.5'	36.5'

CUL-DE-SAC PAVING DETAIL

NOTES:  
 - ZONING = R-15  
 - BOUNDARY INFORMATION TAKEN FROM SURVEY DONE BY I.A. ROMO PLS  
 - TOPOGRAPHICAL INFORMATION TAKEN FROM GREENVILLE COUNTY G.I.S.  
 1.) TMS # 0239050100900  
 2.) LOTS 1 & 11 WILL NOT HAVE ACCESS TO OLD EASLEY BRIDGE RD  
 3.) THERE IS A 5' DRAINAGE AND UTILITIES EASEMENT EACH  
 SIDE OF ALL INTERIOR LOT LINES AND 10' DRAINAGE AND  
 AND UTILITIES EASEMENT INSIDE OF EXTERIOR LOT LINES.

### LEGEND

GROSS ACREAGE: 4.37 AC.  
 PERMITTED DENSITY: 3.6 UNITS/AC. (R-15)  
 TOTAL UNITS ALLOWED: 15.73 UNITS  
 TOTAL UNITS PROVIDED: 11 UNITS  
 REQUIRED OPEN SPACE: 15% = 0.655 AC.  
 OPEN SPACE PROVIDED: 0.67 AC.  
 FLOODPLAIN/STEEP SLOPES: 0.15 AC.  
 DEVELOPABLE LAND: 0.52 AC.



VICINITY MAP  
N.T.S.

TMS # 0239050100900

## PRELIMINARY PLAN

# HARVEST CREEK ESTATES

DARUS RAHLEY  
 3 RICH HOLCOMBE CT  
 PELZER SC 29669  
 (864) 979-2856  
 OWNER

LAND DESIGN SERVICES, INC.  
 P.O. BOX 432  
 BASILEY, SC 29641  
 PHONE: (864) 220-7051  
 ENGINEER

No. ACRES: 4.37      MILES OF COUNTY ROAD: 0.08  
 No. LOTS: 11      DATE: 11-6-07

Scale: 1"=40'

REVISIONS:

No.	DATE	BY

LAND DESIGN SERVICES, INC.  
 Civil Engineering, Land Planning & Consulting  
 P.O. Box 432 Easley, S.C. 29641 (864) 220-7051  
 DRAWN BY: KR      PROJECT NO. L-07-105