

CITY OF SIMPSONVILLE GENERAL NOTES

1. ALL NEW LOTS TO HAVE INTERNAL ACCESS ONLY.
2. ALL NEW ROADS WILL HAVE A 44' R/W.
3. THERE IS A 5' DRAINAGE AND UTILITY EASEMENT ALONG EACH SIDE OF ALL INTERIOR LOT LINES AND A 10' DRAINAGE AND UTILITY EASEMENT INSIDE ALL EXTERIOR LOT LINES, EXCEPT WHERE NOTED.
4. A STORMWATER MANAGEMENT PLAN AND SEDIMENT REDUCTION PLAN HAS BEEN PREPARED FOR THIS PROPERTY AND WILL BE APPLIED FOR LAND DISTURBING ACTIVITIES. EACH PROPERTY OWNER WILL COMPLY WITH THIS PLAN UNLESS AN INDIVIDUAL PLAN IS PREPARED AND APPROVED FOR THAT PROPERTY. CITY OF SIMPSONVILLE IS NOT RESPONSIBLE FOR THE MAINTENANCE OF THE RETENTION AREA.

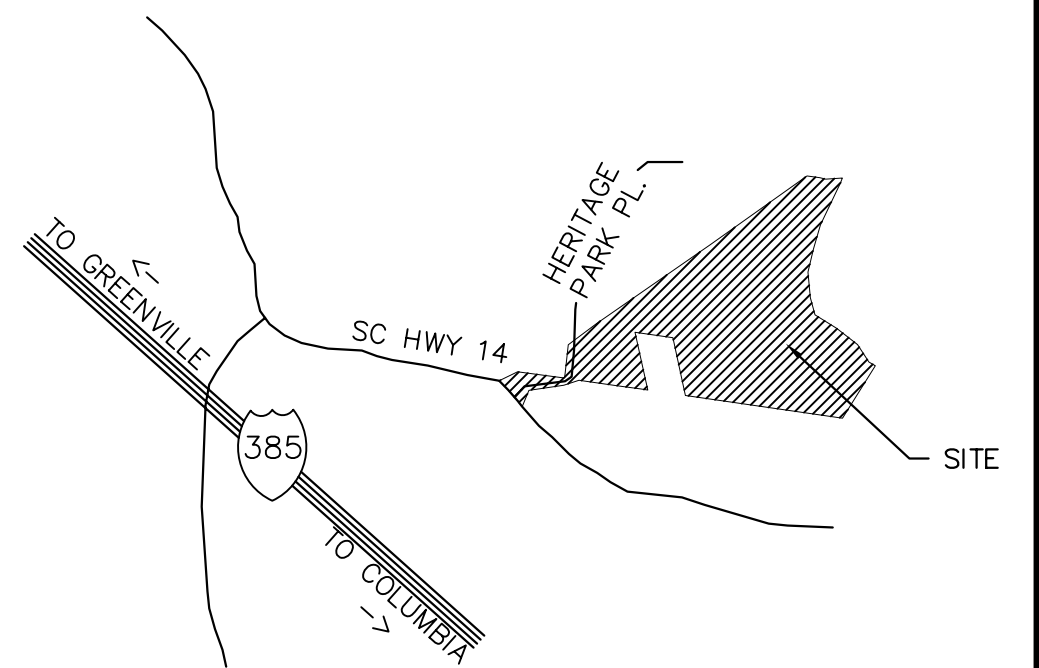
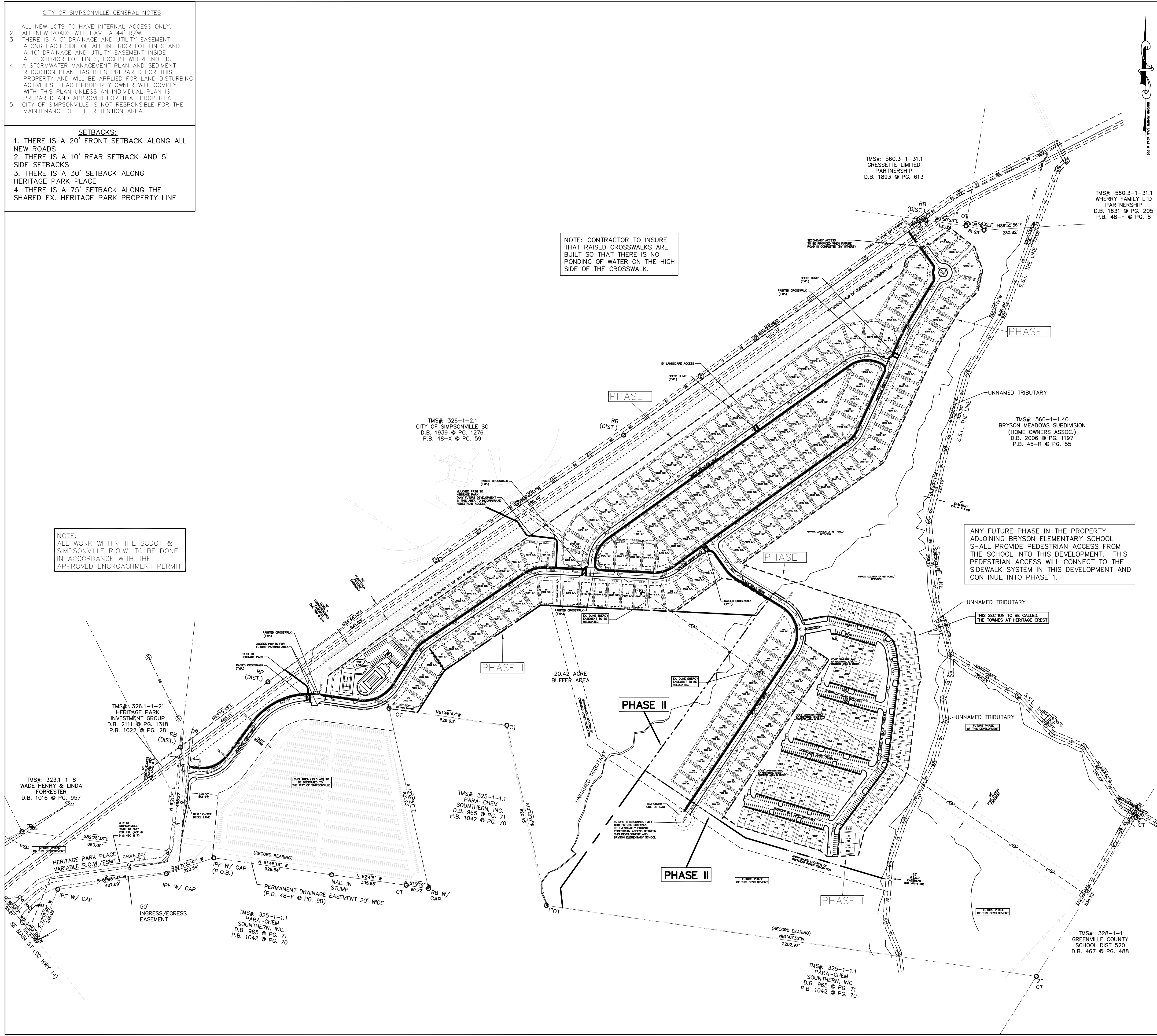
SETBACKS:

1. THERE IS A 20' FRONT SETBACK ALONG ALL NEW ROADS
2. THERE IS A 10' REAR SETBACK AND 5' SIDE SETBACKS
3. THERE IS A 30' SETBACK ALONG HERITAGE PARK PLACE
4. THERE IS A 75' SETBACK ALONG THE SHARED EX. HERITAGE PARK PROPERTY LINE

NOTE:
ALL WORK WITHIN THE SCOTD & SIMPSONVILLE R.O.W. TO BE DONE IN ACCORDANCE WITH THE APPROVED ENCROACHMENT PERMIT.

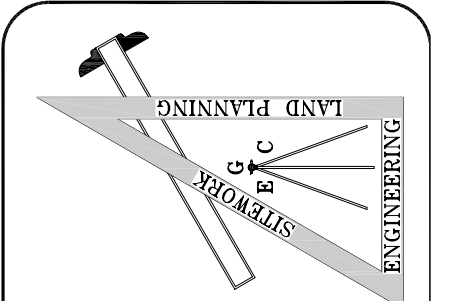
NOTE: CONTRACTOR TO INSURE THAT RAISED CROSSWALKS ARE BUILT SO THAT THERE IS NO PONDING OF WATER ON THE HIGH SIDE OF THE CROSSWALK.

ANY FUTURE PHASE IN THE PROPERTY ADJOINING BRYSON ELEMENTARY SCHOOL SHALL PROVIDE PEDESTRIAN ACCESS FROM THE SCHOOL INTO THIS DEVELOPMENT. THIS PEDESTRIAN ACCESS WILL CONNECT TO THE SIDEWALK SYSTEM IN THIS DEVELOPMENT AND CONTINUE INTO PHASE 1.



LOCATION MAP (N.T.S.)

NO.	DATE	BY	REVISION
A	2/4/08	P.H	SUBMITTED TO CITY/COUNTY FOR REVIEW AND APPROVAL
B	3/28/08	P.H	SUBMITTED TO SCDEC FOR REVIEW AND APPROVAL
C	5/19/08	P.H	REVISED TOWNHOMES, ADDED PHS 2 AND RESUBMITTED



GRAY ENGINEERING CONSULTANTS, INC.
engineering · sitework · land planning

132 PILGRIM ROAD - GREENVILLE, SC 29607
PH: (864) 297-3027 · FAX: (864) 297-5167
CRAY @ GRAYENGINEERING.COM

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OVERALL STAKEOUT PLAN (OVERALL)

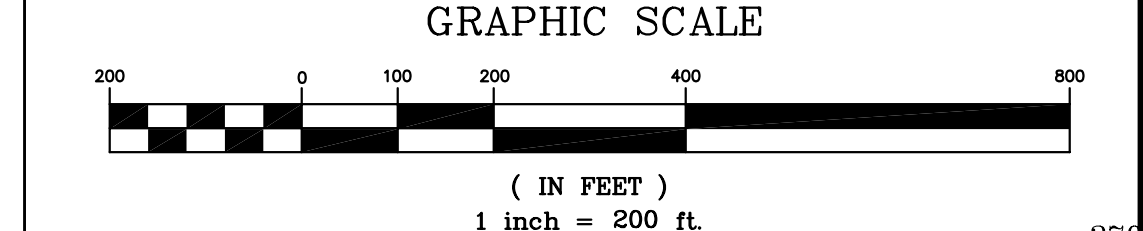
HERITAGE CREST PHASE 1 & 2

HERITAGE PARK PLACE
CITY OF SIMPSONVILLE, SC

HERITAGE CREST PHASE 1 & 2
TYPE OF DEVELOPMENT: PD

OWNER	ENGINEER	SURVEYOR
LAND DEVELOPMENT HOLDINGS, LLC 122 GROVE CREEK DRIVE FLEMING, SC 29624	GRAY ENGINEERING RODNEY GRAY, P.E. 132 PILGRIM ROAD GREENVILLE, SC 29607 864-297-3027	AZIMUTH CONTROL, INC. WES SMITH 132 PILGRIM ROAD - SUITE B GREENVILLE, SC 29601 864-814-3456

NO. OF ACRES	120.08 ACRES	MILES OF PUBLIC ROAD	1.45 MI.
NO. OF LOTS	171	MILES OF PRIVATE DRIVE	.48 MI.
NO. OF TOWNHOMES	130	TM#	0328000100200 & 05600050100100



PROJECT MANAGER: PJH
DRAWN BY: CJR
PROJECT DATE: 2/4/08
SCALE: 1"=200'
JOB No.: 270140
PLOT DATE: 06/03/08

SHEET
OV-1

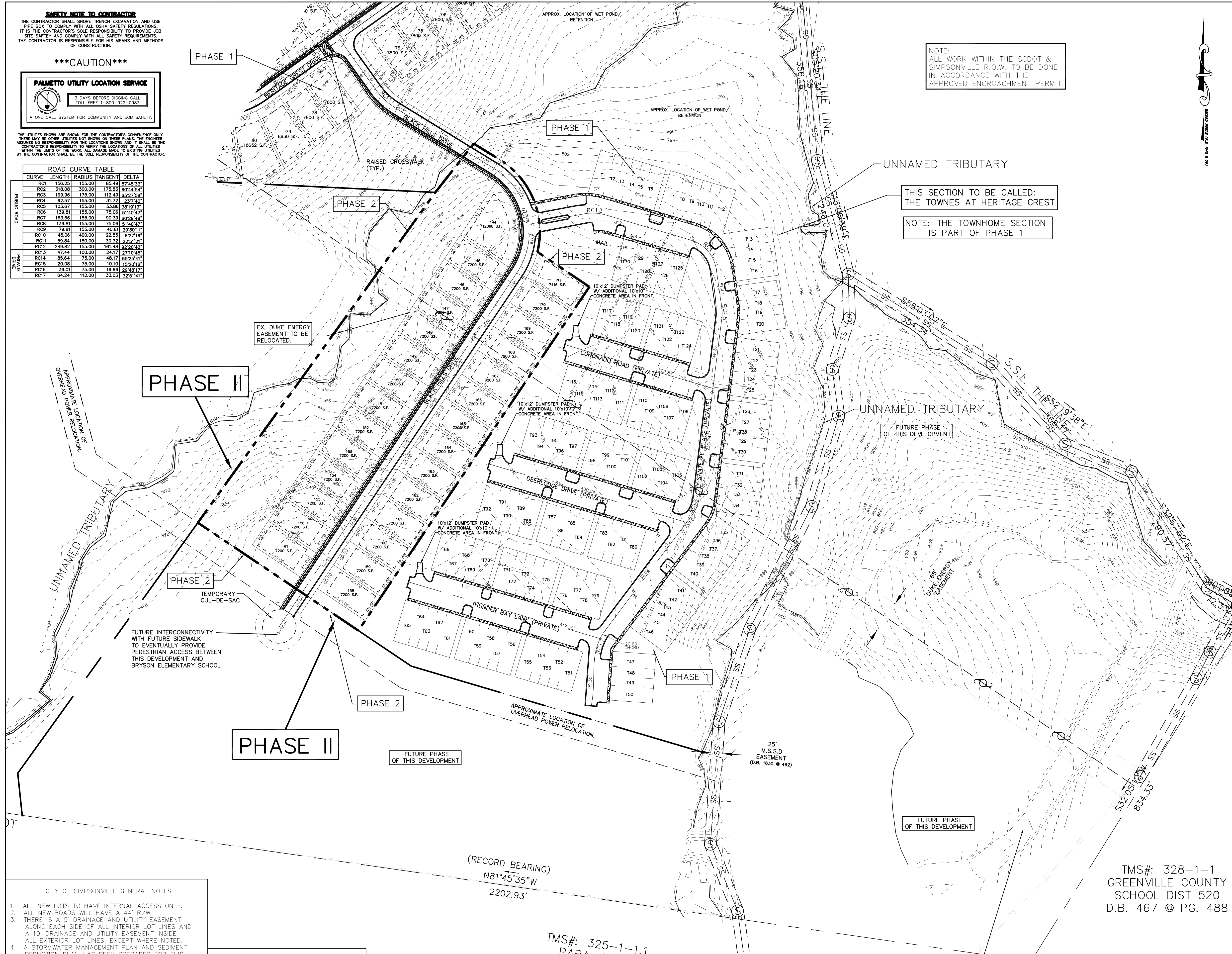
SAFETY NOTE TO CONTRACTOR
 THE CONTRACTOR SHALL SHORE TRENCH EXCAVATION AND USE PIPE BOX TO COMPLY WITH ALL OSHA SAFETY REGULATIONS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE JOB SITE SAFETY AND COMPLY WITH ALL SAFETY REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR HIS MEANS AND METHODS OF CONSTRUCTION.

CAUTION

PALMETTO UTILITY LOCATION SERVICE
 3 DAYS BEFORE DIGGING CALL
 TOLL FREE 1-800-922-0983
 A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY.

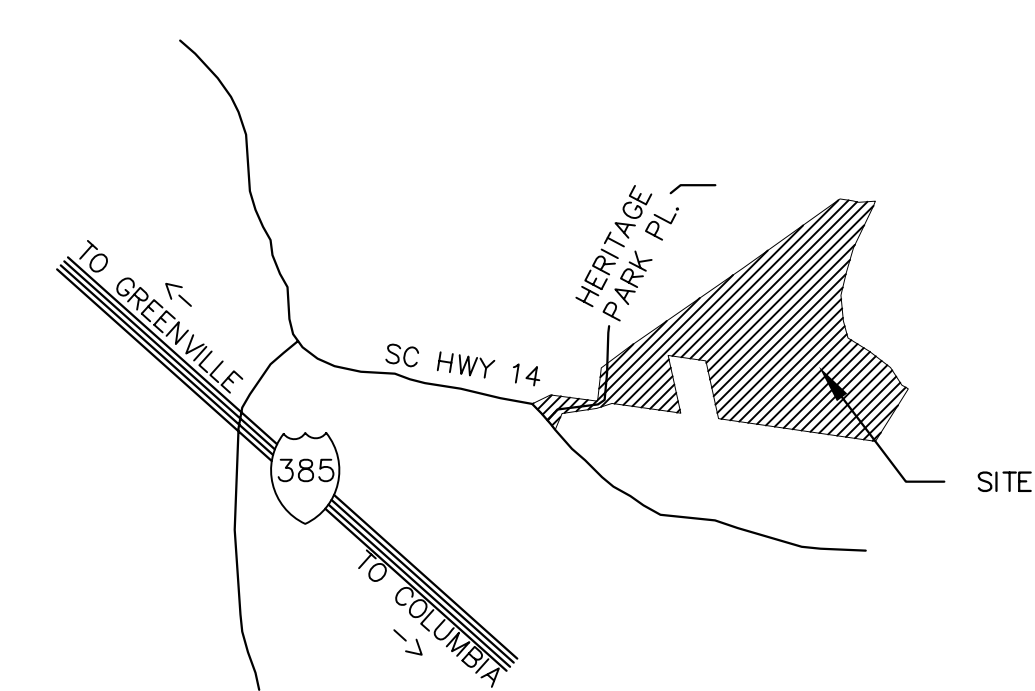
THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

CURVE	LENGTH	RADIUS	TANGENT	DELTA
RC1	156.23	155.00	85.49	87.8333°
RC2	318.08	300.00	175.83	80.4454°
RC3	199.98	175.00	112.49	85.2759°
RC4	62.37	155.00	31.72	23.7447°
RC5	103.67	155.00	53.86	38.1913°
RC6	139.81	155.00	75.06	51.4047°
RC7	183.66	155.00	90.39	62.9242°
RC8	139.81	155.00	75.06	51.4047°
RC9	78.81	155.00	43.81	29.3011°
RC10	45.06	400.00	22.53	6.2725°
RC11	59.84	150.00	30.32	22.5121°
RC12	249.82	155.00	161.48	82.0242°
RC13	47.44	100.00	24.17	27.1049°
RC14	85.64	75.00	48.17	65.2941°
RC15	20.08	75.00	10.10	15.2014°
RC16	39.01	75.00	19.96	29.4817°
RC17	64.24	112.00	33.03	32.5141°

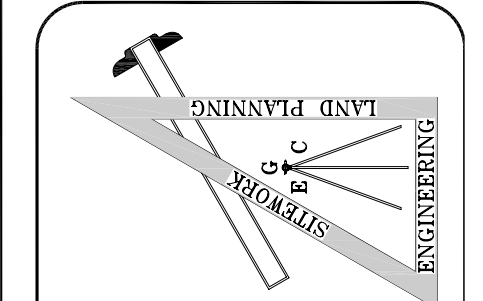


NOTE:
 ALL WORK WITHIN THE SCOT & SIMPSONVILLE R.O.W. TO BE DONE IN ACCORDANCE WITH THE APPROVED ENCROACHMENT PERMIT.

UNNAMED TRIBUTARY
 THIS SECTION TO BE CALLED:
 THE TOWNES AT HERITAGE CREST
 NOTE: THE TOWNHOME SECTION IS PART OF PHASE 1



NO.	DATE	BY	REVISION
A	2/4/08	P.H	SUBMITTED TO CITY/COUNTY FOR REVIEW AND APPROVAL
B	3/28/08	P.H	SUBMITTED TO SODHC FOR REVIEW AND APPROVAL
C	5/19/08	P.H	REVISED TOWNHOMES, ADDED PHS 2 AND RESUBMITTED



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- CITY OF SIMPSONVILLE GENERAL NOTES**
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 - ALL NEW ROADS WILL HAVE A 44' R/W.
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 - A STORMWATER MANAGEMENT PLAN AND SEDIMENT REDUCTION PLAN HAS BEEN PREPARED FOR THIS PROPERTY AND WILL BE APPLIED FOR LAND DISTURBING ACTIVITIES. EACH PROPERTY OWNER WILL COMPLY WITH THIS PLAN UNLESS AN INDIVIDUAL PLAN IS PREPARED AND APPROVED FOR THAT PROPERTY.
 - CITY OF SIMPSONVILLE IS NOT RESPONSIBLE FOR THE MAINTENANCE OF THE DETENTION AREA.

HATCH LEGEND

[Hatched Box]	- BUFFER AREA (20.42 AC)
[Hatched Box]	- PHASE 1 COMMON AREA (29.25 ACRES)
[Hatched Box]	- FUTURE PHASE

DENSITY OF PHASE 1: 306 UNITS/120.08 ACRES = 2.55 UNITS/ACRE

- SETBACKS:**
- THERE IS A 20' FRONT SETBACK ALONG ALL NEW ROADS
 - THERE IS A 10' REAR SETBACK AND 5' SIDE SETBACKS
 - THERE IS A 30' SETBACK ALONG HERITAGE PARK PLACE
 - THERE IS A 75' SETBACK ALONG THE SHARED EX. HERITAGE PARK PROPERTY LINE

(RECORD BEARING)
 N81°45'35"W
 2202.93'

TMS#: 325-1-1.1
 PARA-CHEM
 SOUTHERN, INC.
 D.B. 965 @ PG. 71
 P.B. 1042 @ PG. 70

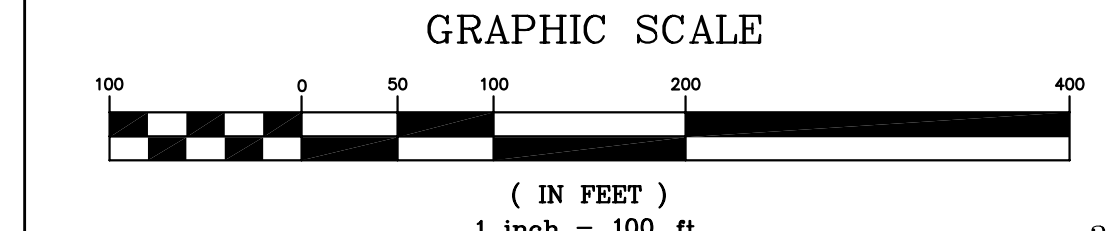
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TMS#: 328-1-1
 GREENVILLE COUNTY
 SCHOOL DIST 520
 D.B. 467 @ PG. 488

**HERITAGE CREST
 PHASE 2**
 TYPE OF DEVELOPMENT: PD

OWNER	ENGINEER	SURVEYOR
LAND DEVELOPMENT HOLDINGS, LLC 122 GROVE CREEK DRIVE PIEDMONT, SC 29723 864-277-3257	GRAY ENGINEERING RODNEY GRAY, P.E. 132 PILGRIM ROAD GREENVILLE, SC 29607 864-297-3027	AZIMUTH CONTROL, INC. WES SMITH 132 PILGRIM ROAD - SUITE B GREENVILLE, SC 29601 864-814-3456

NO. OF ACRES	PHASE 2: 8.27 ACRES	MILES OF PUBLIC ROAD	0.30 MI.
NO. OF LOTS	28	MILES OF PRIVATE DRIVE	0 MI.
NO. OF TOWNHOMES:	0	TM#	0328000100200 & 0560050100100



PRELIMINARY PLAT
**HERITAGE CREST
 PHASE 2**
 HERITAGE PARK PLACE
 CITY OF SIMPSONVILLE, SC

PROJECT MANAGER: PJH
 DRAWN BY: CJR
 PROJECT DATE: 2/4/08
 SCALE: 1"=100'
 JOB No.: 270140
 PLOT DATE: 06/03/08

SHEET
P-PHS2