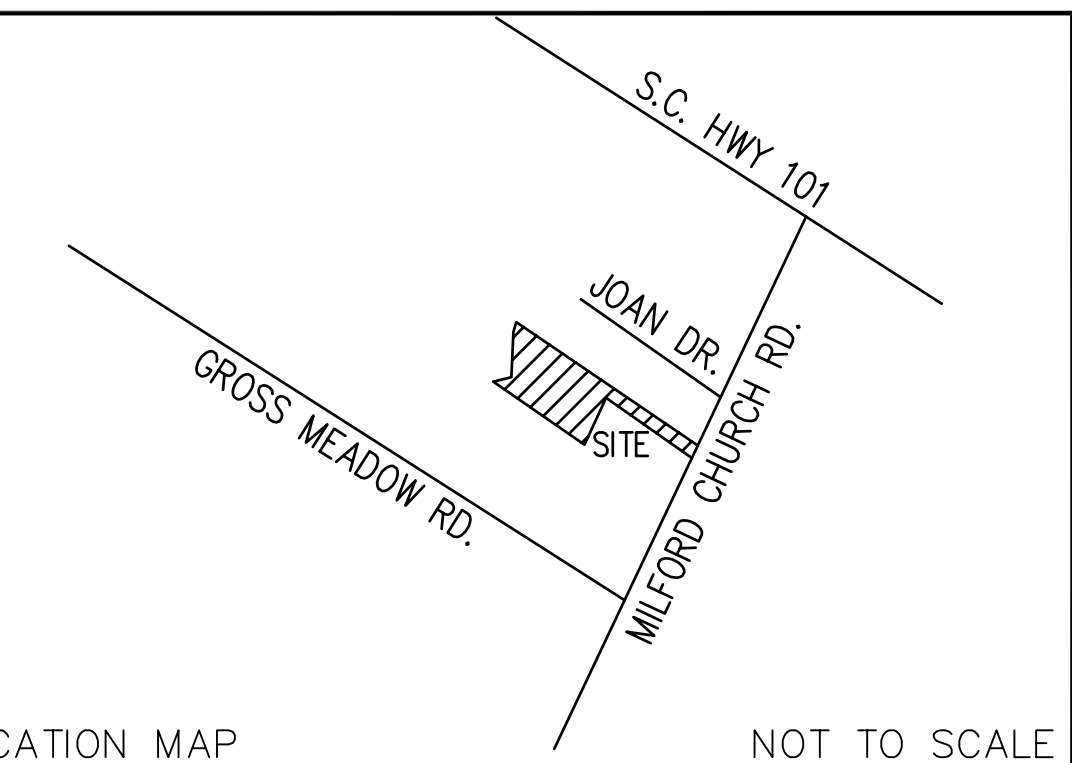
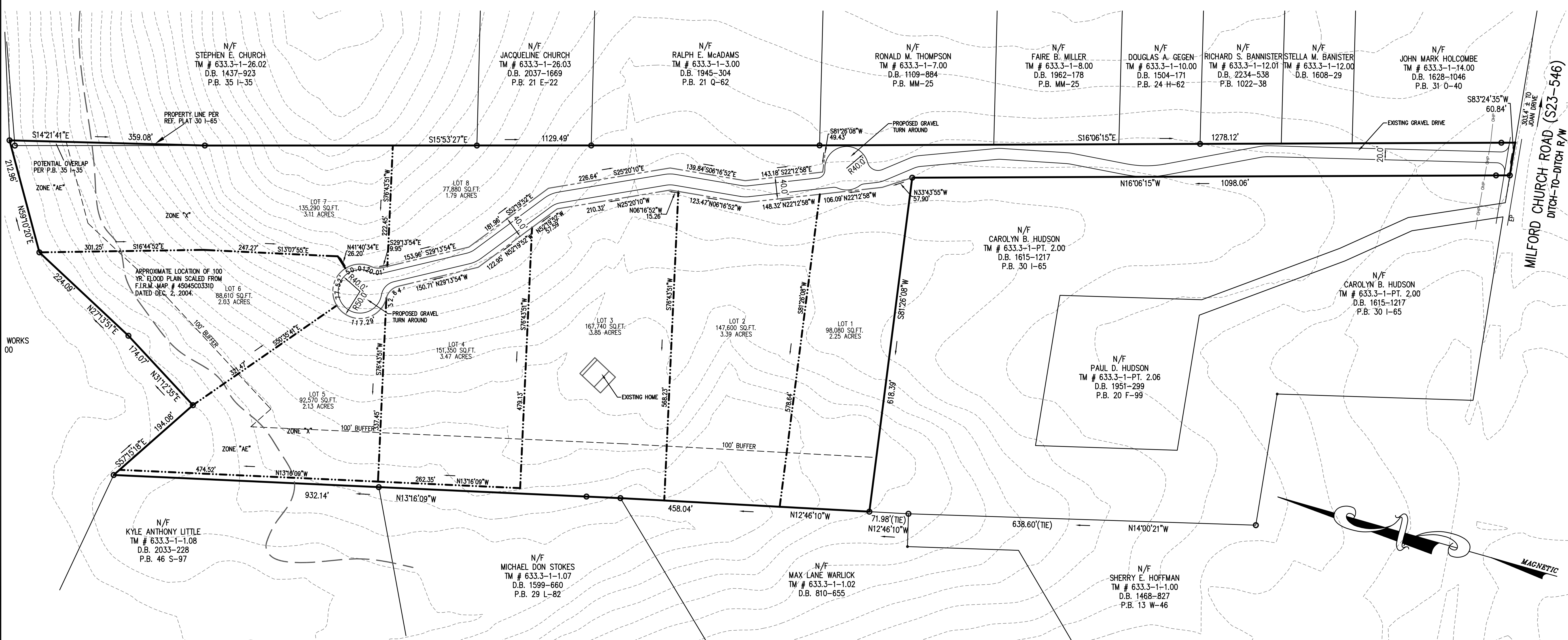


NOTE: EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAN, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: RIGHTS-OF-WAY, EASEMENTS, OTHER THAN POSSIBLE EASEMENTS THAT WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. - ANY FLOOD PLAIN DATA SHOWN HEREON IS AN APPROXIMATE LOCATION GRAPHICALLY PLOTTED FROM THE REFERENCED FEMA MAP UNLESS OTHERWISE NOTED. - THIS SURVEY DOES NOT CONSTITUTE A TITLE RESEARCH, FLOOD STUDY, WETLAND DELINEATION OR ENVIRONMENTAL INSPECTION BY SURVEYOR.



LOCATION MAP NOT TO SCALE



**LEGEND**

<b>SYMBOLS</b>	<b>ABBREVIATIONS</b>
CB □ CATCH BASIN	BL BUILDING LINE
DI □ DROP INLET	CL CENTERLINE
⊠ ELEC TRANSFORMER	CT CRIMP TOP
90.0 ELEVATION (EXIST. GRADE)	DE DRAINAGE EASEMENT
+90.0 ELEVATION (FINISH GRADE)	EP EDGE OF PAVEMENT
⊕ FIRE HYDRANT	FFE FINISHED FLOOR ELEVATION
⊕ GAS METER	FG FINISHED GRADE
⊕ GAS VALVE	IE INVERT ELEVATION
IP ○ IRON PIN	IPS IRON PIN SET
LP ☆ LIGHT POLE	IPO IRON PIN OLD
MHSD ⊕ MANHOLE (BELLSOUTH)	N&C NAIL & CAP
MHSD ⊕ MANHOLE (SD)	OT OPEN TOP
MHSS ⊕ MANHOLE (SS)	RB REBAR
PP ⊕ POWER POLE	RCP REINFORCED CONCRETE PIPE
TEL ⊕ TELEPHONE	R/W RIGHT OF WAY
⊕ WATER METER	SSE SANITARY SEWER EASEMENT
⊕ WATER VALVE	SL SETBACK LINE
→ STORMWATER FLOW	VCP VITRIFIED CLAY PIPE
→ TRAFFIC FLOW	
⊕ TEMPORARY SEEDING	
<b>LINETYPES</b>	
—CIV— CABLE TV	—SS— SANITARY SEWER - EXIST.
—X— CHAIN LINK FENCE (PROPOSED)	—NS— SANITARY SEWER - NEW
—x— CHAIN LINK FENCE (EXISTING)	—S— SILT FENCE
—680— CONTOURS - EXIST. GRADE	—SB— STORM SEWER - EXIST.
—(678)— CONTOURS - FINISHED GRADE	—SN— STORM SEWER - NEW
—FOC— FIBER OPTIC	—UGP— UNDERGROUND POWER
—FM— FORCE MAIN	—UGT— UNDERGROUND TEL
—GAS— GAS LINE	—W— WATER LINE - EXIST.
—OP— OVERHEAD POWER	—W— WATER - NEW
—OHT— OVERHEAD TELEPHONE	—WF— WOOD FENCE
—RD— ROOF DRAIN - NEW	

- NOTES:**
- TAX MAP 633.3-1-2.7
  - ALL PROPERTY CORNERS ARE IPS 5/8" REBARS, UNLESS NOTED OTHERWISE.
  - AS A MINIMUM, 5' DRAINAGE AND UTILITY EASEMENTS ESTABLISHED ALONG ALL SIDE AND INTERIOR PROPERTY LINES; 10' EASEMENTS ESTABLISHED ALONG EXTERIOR BOUNDARY OF SUBDIVISION UNLESS ADJOINING OWNERS HAVE ESTABLISHED EASEMENTS.
  - ROAD RIGHT-OF-WAY INFORMATION PROVIDED BY STATE AND/OR COUNTY AGENCIES OR OBTAINED FROM FIELD MONUMENTATION AND/OR REFERENCE PLATS. SITE DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY.
  - STORMWATER MANAGEMENT & SEDIMENT REDUCTION PLAN HAS BEEN PREPARED FOR THIS PROPERTY & WILL BE APPLIED FOR LAND DISTURBING ACTIVITIES. EACH PROPERTY OWNER WILL COMPLY WITH THIS PLAN UNLESS AN INDIVIDUAL PLAN IS PREPARED AND APPROVED FOR THAT PROPERTY.
  - SETBACKS: FRONT: 20  
SIDE: 0  
REAR: 0
  - SIDEWALKS TO BE INSTALLED AS SHOWN ON PLAN.
  - A PORTION OF THIS PROPERTY IS LOCATED IN A DESIGNATED FLOOD HAZARD AREA, PER FEMA MAP 45045003310 DATED DEC. 2, 2004

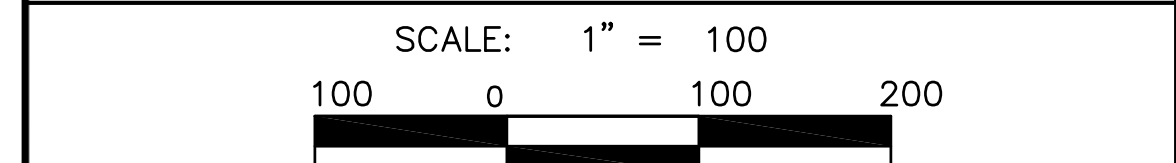
REQUEST VARIANCE FOR:  
 • 2200 FT LONG SHARED DRIVEWAY WITH CENTRAL TURN AROUND  
 • 8 LOTS ON PRIVATE SHARED DRIVEWAY

**PRELIMINARY PLAT**

**MILFORD CHURCH ESTATES**

**OWNER**  
 WALTER DAVID HAZEL JR.  
 4 BREWSTER DRIVE  
 TAYLORS, SC 29687

NO. OF ACRES: 23 MILES OF NEW ROAD: 0  
 NO. OF LOTS: 7 DATE: 3-30-2009  
 ERROR OF CLOSURE: 1:10,000  
 CURRENT ZONING: UNZONED



**SITE DESIGN, INC.**  
 CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS  
 420 EAST PARK AVE, SUITE 100 GREENVILLE, SC 29601  
 PH: (864)271-0496 FAX: (864)271-0402  
 www.sitedesign-inc.com

EACH PROPERTY OWNER IS PROVIDED ACCESS TO A PUBLIC ROAD BY PRIVATE ROADS OVER WHICH EACH PROPERTY OWNER HAS A PERPETUAL NONEXCLUSIVE EASEMENT. THE PRIVATE ROADS SHOWN HEREON WILL BE MAINTAINED BY OWNER AND/OR ONE OR MORE HOMEOWNERS ASSOCIATIONS. THE PRIVATE ACCESS ROADS WILL NOT BE ACCEPTED AND MAINTAINED AS PUBLIC RIGHTS OF WAY UNTIL SUCH TIME AS THEY MEET MINIMUM CITY STANDARDS.